

Planning Committee Agenda



To: Councillor Michael Neal (Chair)
Councillor Clive Fraser (Vice-Chair)
Councillors Ian Parker, Simon Brew, Lara Fish, Sean Fitzsimons,
Mohammed Islam, Mark Johnson, Humayun Kabir and Appu Srinivasan

Reserve Members: Leila Ben-Hassel, Louis Carserides, Chris Clark,
Danielle Denton, Christopher Herman, Joseph Lee, Endri Llabuti,
Ellily Ponnuthurai, Holly Ramsey and Luke Shortland

A meeting of the **Planning Committee** which you are hereby summoned to attend, will be held on **Thursday, 8 February 2024** at **6.30 pm** in **Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX**.

KATHERINE KERSWELL
Chief Executive and Head of Paid Service
London Borough of Croydon
Bernard Weatherill House
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www.croydon.gov.uk/meetings
Wednesday, 31 January 2024

Members of the public are welcome to attend this meeting, or you can view the webcast both live and after the meeting has completed at <http://webcasting.croydon.gov.uk>

If you would like to record the meeting, we ask that you read the guidance on the recording of public meetings [here](#) before attending

To register a request to speak, please either e-mail Democratic.Services@croydon.gov.uk or phone the number above by 4pm on the Tuesday before the meeting.

The agenda papers for all Council meetings are available on the Council website
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If you require any assistance, please contact Tariq Aniemeka-Bailey
020 8726 6000 x64109 as detailed above.

AGENDA – PART A

1. Apologies for absence

To receive any apologies for absence from any members of the Committee.

2. Disclosure of Interest

Members are invited to declare any disclosable pecuniary interests (DPIs) and other registrable and non-registrable interests they may have in relation to any item(s) of business on today's agenda.

3. Urgent Business (if any)

To receive notice of any business not on the agenda which in the opinion of the Chair, by reason of special circumstances, be considered as a matter of urgency.

4. Minutes of the previous meeting (To Follow)

To approve the minutes of the meeting held on 11 January 2024 as an accurate record.

5. Development presentations (Pages 5 - 6)

To receive the following presentations on a proposed development:

5.1 23/04171/PRE - Spurgeon's College, 189 South Norwood Hill, South Norwood, London, SE25 6DJ (Pages 7 - 48)

Mixed use development for redevelopment of the site to provide an extension to the locally listed building and new education building and basement to provide purpose built higher education facilities and extensions to the existing locally listed building and 42 family homes.

Ward: Thornton Heath

6. Planning applications for decision (Pages 49 - 52)

To consider the accompanying reports by the Director of Planning & Strategic Transport:

6.1 23/03465/FUL - 34A, 34B And Rear Of 34 Arkwright Road, CR2 0LL (Pages 53 - 82)

Demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 6 dwellinghouses 3 storeys in height together with associated parking, access and landscaping.

Ward: Sanderstead
Recommendation: Grant permission

7. Items referred by Planning Sub-Committee

To consider any item(s) referred by a previous meeting of the Planning Sub-Committee to this Committee for consideration and determination:

There are none.

8. Other planning matters (Pages 83 - 84)

To consider the accompanying report by the Director of Planning & Strategic Transport:

There are none.

8.1 Weekly Planning Decisions (Pages 85 - 132)

Attached is the list of Delegated and Planning Committee/Subcommittee decisions taken between 15 January 2024 and 26 January 2024.

9. Exclusion of the Press & Public

The following motion is to be moved and seconded where it is proposed to exclude the press and public from the remainder of a meeting:

"That, under Section 100A(4) of the Local Government Act, 1972, the press and public be excluded from the meeting for the following items of business on the grounds that it involves the likely disclosure of exempt information falling within those paragraphs indicated in Part 1 of Schedule 12A of the Local Government Act 1972, as amended."

PLANNING COMMITTEE AGENDA

PART 5: Development Presentations

1 INTRODUCTION

- 1.1 This part of the agenda is for the committee to receive presentations on proposed developments, including when they are at the pre-application stage.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 ADVICE TO MEMBERS

- 2.1 These proposed developments are being reported to committee to enable members of the committee to view them at an early stage and to comment upon them. They do not constitute applications for planning permission at this stage and any comments made are provisional and subject to full consideration of any subsequent application and the comments received as a result of consultation, publicity and notification.
- 2.2 Members will need to pay careful attention to the probity rules around predisposition, predetermination and bias (set out in the Planning Code of Good Practice Part 5.G of the Council's Constitution). Failure to do so may mean that the Councillor will need to withdraw from the meeting for any subsequent application when it is considered.

3 FURTHER INFORMATION

- 3.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

4 PUBLIC SPEAKING

- 4.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

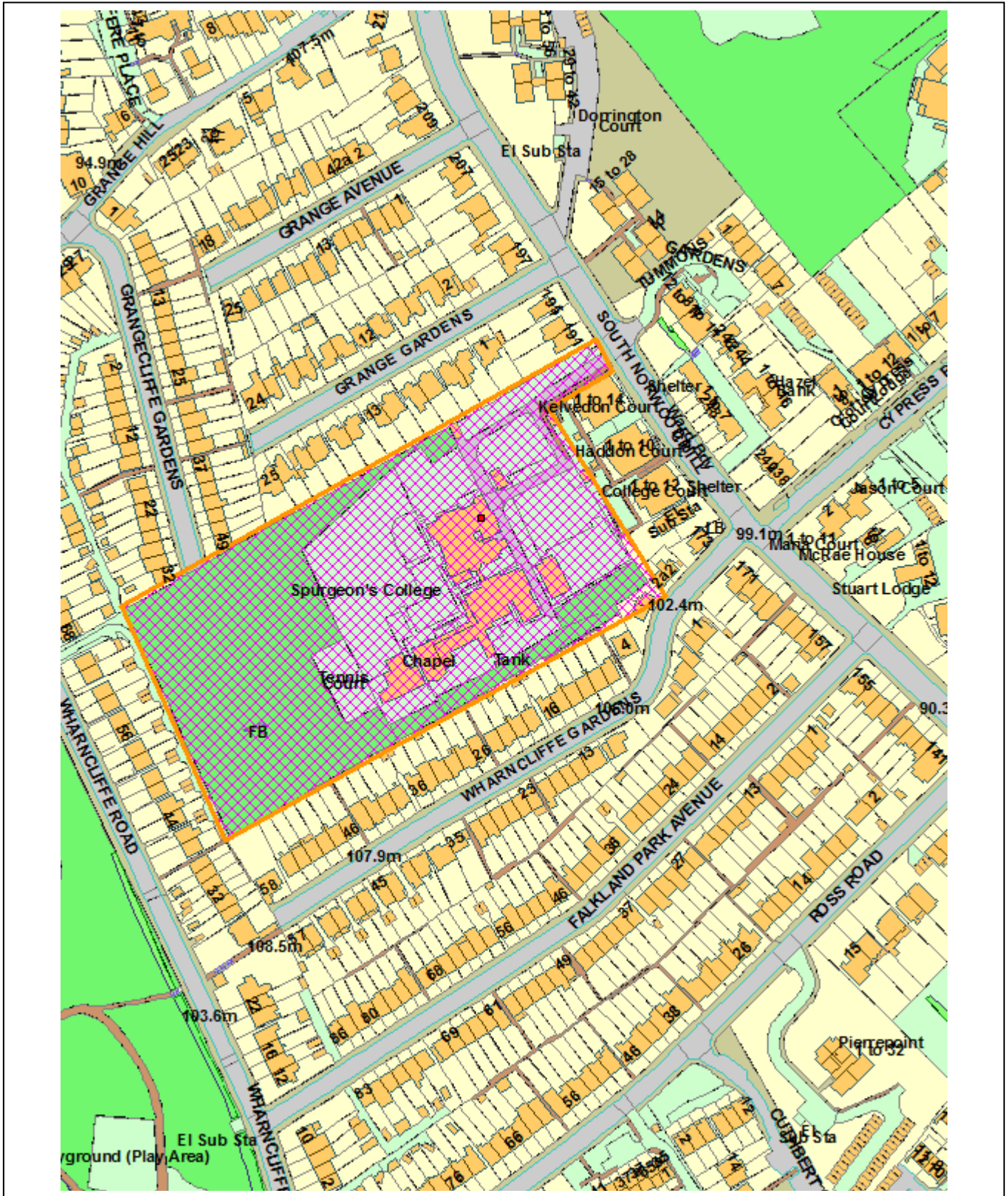
5 BACKGROUND DOCUMENTS

- 5.1 For further information about the background papers used in the drafting of the reports in part 8 contact Mr P Mills (020 8760 5419).

6 RECOMMENDATION

- 6.1 The Committee is not required to make any decisions with respect to the reports on this part of the agenda. The attached reports are presented as background information.

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1 DETAILS OF THE DEVELOPMENT

Ref: 23/04171/PRE
Location: Spurgeon's College, 189 South Norwood Hill, South Norwood, London, SE25 6DJ
Ward: Thornton Heath
Description: Mixed use development for redevelopment of the site to provide an extension to the locally listed building and new education building and basement to provide purpose built higher education facilities and extensions to the existing locally listed building and 42 family homes
Applicant: Spurgeon's College and London Square
Agent: Richard Quelch
Case Officer: Katy Marks

2 PROCEDURAL NOTE

- 2.1 This proposed development is being reported to Planning Committee to enable Members to view it at pre-application stage and to comment upon it. The development does not constitute an application for planning permission and any comments made upon it are provisional, and subject to full consideration of any subsequent applications, including any comments received as a result of consultation, publicity and notification.
- 2.2 It should be noted that this report represents a snapshot in time, with negotiations and dialogue on-going. The plans and information provided to date are indicative only and as such the depth of analysis provided corresponds with the scope of information that has been made available to Council officers. Other issues may arise as more detail is provided and the depth of analysis expanded upon.
- 2.3 The report covers the following points:
- Executive summary
 - Site briefing
 - Design Review Panel feedback
 - Summary of matters for consideration
 - Specific feedback requests

3 EXECUTIVE SUMMARY

- 3.1 The scheme currently proposes the redevelopment of the existing college site to allow the College to expand and update their facilities to support their expansion to university status with a wider educational offer. The College is seeking to enable this expansion through selling part of the site to their residential partner to develop 42 family homes.

- 3.2 The Council has been in pre-application discussions with the College since an initial pre-app discussion in 2019. A scheme for circa 115-150 flats was presented twice to Place Review Panel (June 2020 and July 2021). Pre-application discussions with the current development team (the College and their residential partner, London Square) began in December 2022. The initial proposals from the current team were also a flatted scheme, however due to significant concerns raised, the applicant has revised the scheme and submitted a housing scheme in autumn 2023. The current housing proposal has been subject to two pre-application meetings and was presented to the Council's Design Review Panel in November 2023.
- 3.3 Pre-application discussions have focused on appropriate height and massing, impact upon the locally listed building to the centre of the site, type and quality of accommodation, relationship with adjacent neighbours, impact upon the protected trees within the site and impact on transport and affordable housing.
- 3.4 Whilst the move to provide a housing scheme (as opposed to a flatted scheme) is a significant improvement from previous proposals, the current proposal has not yet evolved sufficiently to overcome all of the concerns raised by officers. The applicant and officers are continuing to work together to address the remaining concerns, however the applicant has also indicated that they wish to submit a planning application in early 2024. Members are advised that officers still have significant concerns with the current pre-application scheme, notably the lack of affordable housing and the scheme's impact upon protected trees. These and other areas of concern are outlined in the report below.

4 SITE BRIEFING

Site and Surroundings

- 4.1 The site is located behind the building line to the western side of South Norwood Hill and is accessed between the three blocks of flats at 177-189 South Norwood Hill and the semi-detached house at 191 South Norwood Hill (which is in the applicant's ownership and forms part of the site). The site comprises a Locally Listed Victorian villa (Walker House) and several smaller mid-20th Century buildings in use as a Christian Higher Education Theological College. In addition, there is some student accommodation on the site which is in poor condition and a small bungalow in use as the Principals house. The College currently has about 800 students, full and part-time, and has 92 ministers in training/placements in Baptist and non-Baptist churches and is supported by over 50 staff.



Figure 1: Site Plan

- 4.2 The access to the site is up a steep access road which is currently lined by trees on one side and with stepped access on the other. The access opens up onto an area of landscaping and two large car parks with views of the rear and side of the Walker House (main house). The principal elevations of the building appear to be side and rear elevations.



Figure 2: Photos of rear and side elevations

- 4.3 To the rear of the building is a large lawn, woodland (which also extends along the side boundaries of the site) and a disused tennis court. The woodland covers the majority of the open space on the site to the rear and sides of the site making up roughly a third of the site. The woodland, including the majority of trees to the sides of the site, is protected under a woodland TPO (no. 11 1970). The main part of the site is fairly level in terms of land levels, but land levels fall away on all four sides with the land level changes fairly significantly within the woodland to the rear of the site. Land levels for the site differ (in some places significantly) with land levels for adjacent properties, with the site sitting on an elevated position in comparison to neighbouring properties and gardens.

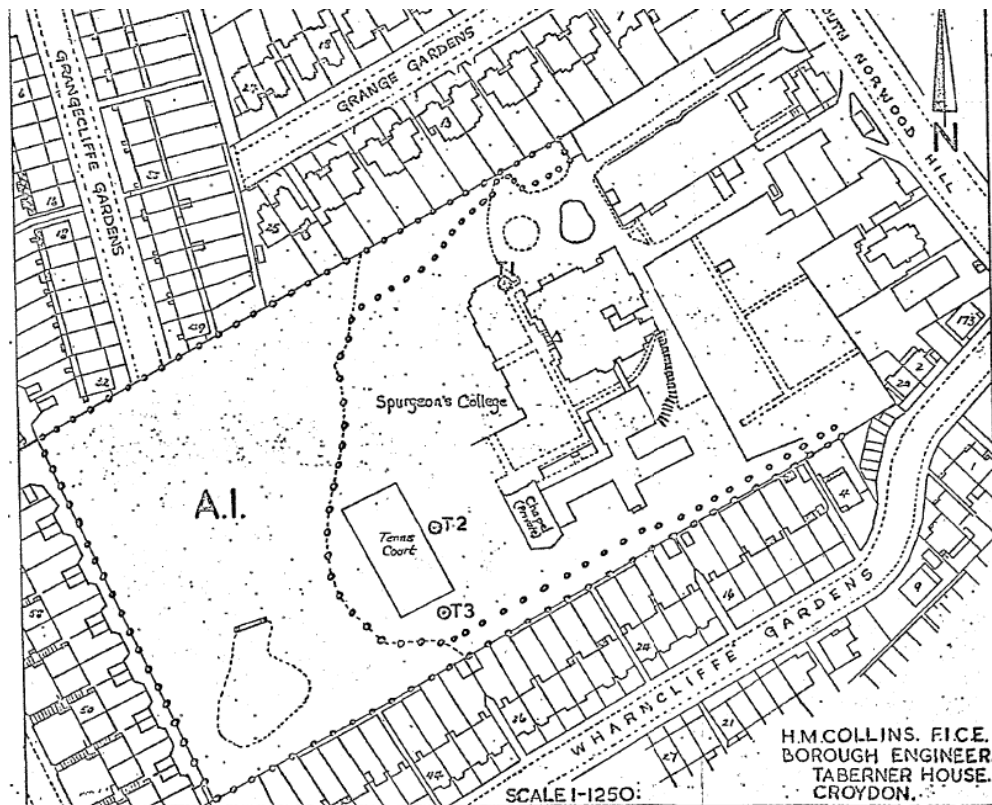


Figure 3: Tree Preservation Order

- 4.4 The surrounding area is generally residential in character with a mixture of terraced and semi-detached properties and flatted developments located along South Norwood Hill (mostly ranging from 2-4 storeys in height) The site is adjoined by modest terraced and semi-detached properties to the north, west and south. To the east it is adjoined by 3 four storey blocks of flats which back onto the site in close proximity to the boundary (the relationship is exaggerated by the land level changes). The site lies close to Grangewood Park (to the west) which is a protected green space, locally listed park and garden and site of nature conservation importance.
- 4.5 The Public Transport Accessibility Level (PTAL) of the site is 2-3, which is the low to medium, however South Norwood Hill provides several bus routes between South Norwood and Crystal Palace/West Norwood.
- 4.6 The site is located with Flood Risk Zone 1 and parts of the site have very low surface water flood risk. The site also sits within a Ground Water Source Protection Zone 2.

Planning History

- 4.7 An application was approved in 2019 for temporary permission for the erection of two temporary modular buildings for use as an office and classrooms ancillary to the main education use of the College (D1). (ref: 18/03331/FUL). This included removal of several trees to a small area of green space to the entrance of the site. This permission does not appear to have been implemented and the trees have not been removed.

4.8 Prior to this, several older applications have been granted for alterations of the existing buildings on the site:

- 17/02508/FUL: Permission granted for alterations and conversion of The Lodge (the College Principal's accommodation) to form 1 three bedroom and 1 four bedroom dwellings and erection of single storey extensions
- 12/00914/P: Permission granted for demolition of link corridor between main building and library and construction of new wheelchair accessible ramp from main building to library with glazed canopy structure.

4.9 Relevant permissions for adjacent sites:

- 179-189 South Norwood Hill: ref: 06/01730/P – Permission allowed at appeal for the erection of 3 three/four storey buildings comprising a total of 11 three bedroom, 12 two bedroom and 13 one bedroom flats; formation of vehicular access and provision of associated parking.
- Land between 2A and 4 Wharncliffe Gardens: Permission granted for the erection of a block of 2 no. 2-bed apartments (Ref :18/05844/CONR and 18/03950/FUL)

Proposal

4.10 The current proposal is for the demolition of the ancillary buildings on the site and the rear extension of Walker House and erection of education buildings and 42 houses.

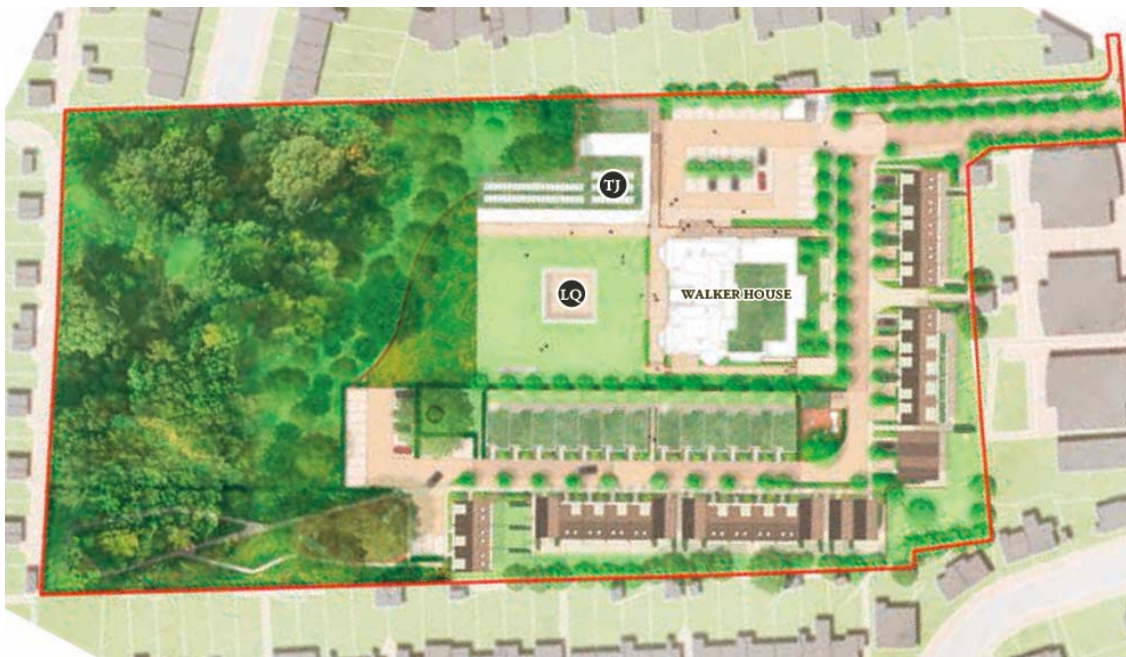


Figure 4: Proposed site plan

4.11 The proposals include the expansion of the education facilities through the following:

- Basement underneath the existing lawn with central lower ground floor courtyard to provide a new library, lecture theatre (with capacity for 120)

and café/break out space; providing basement level connection to Walker House and the Thomas Johnson Building

- Alterations to Walker House and replacement rear extension to adapt the existing facilities and provide new facilities to house 30 offices, 6 meeting rooms, reception, board room, staff room and kitchen and a new chapel (Capacity for 196).



Figure 5: Basement and extension to Walker House

- Erection of a part 2, part 3 storey purpose-built education building with connecting basement (Thomas Johnson Building – ‘TJ Building’) to provide a dining area, two lecture theatres (each with capacity for 80) and 13 smaller lecture/meeting rooms (each with capacity of about 30).



Figure 6: TJ Building footprint

4.12 The expansion of the education facilities is proposed to be funded through the sale of part of the site for residential development. The proposed residential development is for 42 family terraced and semi-detached houses (all 3- and 4-bedroom properties) arranged in an L-shaped row along the eastern and south eastern boundaries, and an inner row of houses flanking the southern side of Walker House and the central lawn. The houses would have a varied design with pitched roofs to the outer terraces and flat roof design to the inner terrace.



Figure 7: Whole site massing including residential

- 4.13 The development would require the removal of circa 80 trees including a significant number of Category B quality trees and would result in built form within close proximity to several category A quality trees.
- 4.14 The development would be supported by a public realm and landscaping scheme, providing a new pedestrian access ramp, new entrance square which would act as a parking quad for the education facilities (to provide 34 parking spaces) with parking for a mini-bus and two car club cars near the entrance of the site. A new road and footways would be built to follow the proposed residential building line, providing pedestrian and vehicle access into the site with 42 parking spaces for the houses either to the front of properties or within a parking area adjacent to the woodland. Communal cycle storage is proposed alongside playspace to the inner corner of residential street adjacent to the rear of Walker House, with landscaping and bin storage to the front of properties. Additional playspace and access would be provided to a small portion of the woodland to the rear.
- 4.15 Officers bring Member's attention to the fact that this scheme is a much-reduced scheme in comparison to previous schemes which included between 114-200 flats. However, whilst the residential element of the scheme has undergone a significant transformation, the quantum of educational floorspace has remained relatively unchanged (albeit that the current scheme has sunk a significant proportion of it below ground). The quantum of educational floorspace is being driven by the College's business plan aimed at securing University title and expanding to provide a range of university degrees beyond its original theology roots.

5 DESIGN REVIEW PANEL FEEDBACK

- 5.1 An earlier version of the scheme was presented to the Council's Design Review Panel (DRP) in November 2023.



Figure 8: Images of the DRP scheme

5.2 The Panel's main feedback was as follows:

- The panel was generally comfortable with the amount of above ground massing and provision of family housing instead of flats
- They felt there was clarity on the zoning of the two uses (subject to access across the site for residents)
- However, they felt that the scheme needs a set of place-specific architecture and landscape design principles to celebrate the site's unique architecture and landscape character and to respond to the site's natural topography regarding building footprints and alignments.
- Strategic approach to location and usage of car parking is needed to ensure that it does not feel like a car-led scheme.
- Consideration of the 'journey' of individuals accessing the site needs consideration and clarification to understand the arrival experience and legibility of the site and amenity provided for the two uses
- Landscaping should have a narrative that highlights and enhances the site's distinct woodland character and draws upon the site's history. The whole site should be considered as a parkland. The panel was concerned with the quantum of tree loss.
- The Panel felt that the architectural strategy and manner of articulation required further resolution.

- They suggested that the Applicant should consider Walker House for a statutory listing review before submission of a planning application.
- The panel felt that a holistic approach to landscape and architectural sustainability must be development and embedded into the design development, including biodiversity net gain, urban greening, embodied carbon and passive design solutions.

5.3 Since DRP, the scheme has been updated to respond to some of the comments raised, including further design resolution has been undertaken which have resulted in small changes to the building footprints and layouts, building forms and architectural design, parking numbers and layouts. Officers are encouraging further pre-application discussions with the applicants and feel that further amendments to the scheme are required to overcome current concerns with regards to the impact to trees and affordable housing. Whilst Officers support the DRP comments, given the extent of officer's concerns with regards to loss of mature trees, officers do not consider the quantum of above ground massing is yet acceptable and is likely to require some reduction in the size of the education buildings and number of houses to fully overcome the tree concerns.

Previous Flatted schemes

5.4 It is worth noting that a previous flatted scheme was presented to DRP twice in summer 2020 and summer 2021. The 2021 scheme was for a very similar scale of development for the education facilities (extension to Walker House, TJ building and education facilities within the ground floor of the southern residential block) and two 5 storey blocks providing 114 flats (with only 30% family homes) including basement and forecourt parking and a Principals house.





Figure 9: 2021 Flatted Scheme

5.5 This previous scheme was not positively received by DRP or officers and critically, it also did not support any affordable housing and raised concerns with regards to the impact upon protected trees. DRP raised concerns about the following aspects:

- Concern about the heritage harm from demolition of the service wing of Walker House and quality of the proposed extension although they did not consider that the other buildings on the site had any heritage significance
- Concerns with regards to the prominence of Walker House and scale of the buildings on either side and lack of symmetry
- Concern that the residential buildings would be overbearing both in relation to Walker House and the neighbours along Warncliffe Gardens. Daylight sunlight assessment and consideration of mature trees was encouraged by the Panel.
- Concern with the quality of residential accommodation, particularly the number of single aspect units and the relationship between the two uses and creation of a welcoming public realm
- Need for further evidence with regards to parking levels to support the significant intensification of the site
- Need for further design development with regards to the wooded area and amenity spaces to ensure they are inclusive and welcoming to all users and residents.

5.6 It is worth noting that the flatted scheme raised significant concerns with regards to harm to the locally listed building, housing mix (lack of family homes), lack of affordable housing, poor quality of accommodation, harm to neighbours (due to heights and proximities), insufficient parking, harm to trees.

6 SUMMARY OF MATTERS FOR CONSIDERATION

6.1 The main planning considerations are:

1. Principle of development (land use – education; residential – affordable housing and housing mix)
2. Townscape, heritage and visual impact
3. Housing Quality for future occupiers

4. Impact upon Neighbours
5. Trees, ecology and landscaping
6. Transport
7. Environmental Impact, Sustainability and Flooding
8. S106 obligations

Principle of Development

- 6.2 The proposed development is a mixed-use education and residential development.
- 6.3 The development includes demolition of existing education facilities, but would expand the existing education floorspace on the site. There would be the loss of one house and some student accommodation. There is no policy protection for student accommodation and the College has indicated that the accommodation is not fit for purpose. It is also officers understanding that there is not likely to be demand created through the expansion of the university as the College's current students tend to live within the community and courses are being designed to attract local students who are unlikely to require student accommodation on site.
- 6.4 The Council is currently in the process of partially reviewing the Croydon Local Plan which is expected to be consulted on in early 2024. It should be noted that as was the case in the previously consulted on Regulation 19 version of the Croydon Local Plan Review, it is anticipated that this site will form part of a site allocation. The previous Regulation 19 site allocation was for higher education with residential (for up to 72 homes). The capacity testing for the site allocation under the previous Regulation 19 version was based upon significantly less education floorspace than that proposed in this scheme. The site allocation is being reviewed as part of the current Local Plan review and it is possible that the proposed allocation will change. Given the stage that the partial review is currently at, the site allocation at this point in time has very limited weight.

Education

- 6.5 Croydon's Local Plan policy SP5 supports the growth and improvement of further and higher education in the borough and in particular seek to bring a university or 'multiversity' to Croydon introduction of a new University into the borough. However, this policy and the supporting text specifically identifies the need for a campus location at a suitable site with high public transport accessibility. Policy SP5.13 establishes the principle that university presence in Croydon should be in a form and in a place with space and opportunity for there to be adjoining centre(s) of innovation and the policy encourages the new university/multiversity to be a centre of innovation, enterprise and associated employment. The supporting text provides context, confirming that universities have a track record for innovation and technical developments, many of which have commercial applications. One purpose for establishing a university in Croydon is to provide the opportunity for direct application of new technologies in young and growing enterprises.
- 6.6 In addition, on a broader context, Local Plan policy DM19.2 supports community uses in sustainable locations which are accessible to local shopping facilities,

healthcare, other community services and public transport. It suggests that buildings should be flexible, adaptable and capable of multi-use and enable future expansion.

6.7 The site is currently occupied by an existing Christian Theological College providing specialised Higher Education facilities. Currently the focus of the College is providing theological courses however in 2022 the College was awarded Full Degree Awarding Powers by the Office of Students meaning it can award degrees to students for the first time. The College has therefore begun to expand its courses to include undergraduate and postgraduate courses in Theology and Counselling. The College is expecting to achieve the title of 'University' by 2025. The proposals would expand the existing education facilities on site, supporting the College's ambitions and plan to become a university, providing a wider range of courses and a significant increase in student numbers. The College is in conversations with officers in the Council's Employment, skills and Economic Department with regards to designing and developing undergraduate and postgraduate programmes to meet the educational and employment needs of the Borough. Indicative courses which may cater directly to the local education needs in Croydon include:

Sept 2024	Sept 2025	Sept 2026	Sept 2027	Sept 2028
Bsc (Hons) Integrative Counselling	LLB (Hons) Law BA (Hons) Business and Public Administration MA Leadership MSc Integrative Counselling	BSc (hons) Psychology BA (Hons) Sociology	BSc (Hons) Economics BA (Hons) Politics and Public Service	BA (Hons) Education BA (Hons) History BA (Hons) English

6.8 The College have provided an indicative student population growth anticipated with their expansion plan. Based on current student admissions, the College expect to have 2,050 students on site on a weekly basis (of which it would be expected at least 550 would be online learning) by 2035/6. They also anticipate an increase in job creation to 128 jobs by 2035/6.

6.9 The College is required to demonstrate financial security in terms of capital to ensure that any degree courses offered can be delivered over a number of future years to provide students with security and certainty of completing their respective degrees or courses. The College has indicated that the capital receipt from the land sale for proposed houses would provide a cross-subsidy to allow the College to reinvest in facilities and generate income from the site (from wider use of the buildings), ensuring a secure long-term future for the College.

6.10 The applicant has indicated that the expansion plan would provide a range of benefits, including increased quality and capacity of teaching facilities and supporting higher education in the borough, improved accessibility within the site and education buildings, new courses and students and jobs increase. In

addition, the College consider the expansion would enable increased community engagement and access including use of the multi-use accessible space outside of student uses allowing hire for individual, community and corporate activity across a range of rooms, halls, a new chapel and 3 lecture theatres. They anticipate that small scale community and church groups, conferences and graduations may take place on site together with opportunities for local schools to use it for informal and formal events. As part of their university title, the College are expected to engage further with local schools about the opportunities of Higher Education and they are currently in talks with Oasis Academy to provide access to the college for this purpose. Opportunities for use of the college for church events on Sundays is also being explored with potential for the site to be used for weddings and baptisms. The College is also exploring hosting a local forest school to use the campus to help local young people learn about nature, experiencing the benefits of outdoor classrooms. Access may also be provided for local groups such as youth scouts and cubs groups.

- 6.11 The site is not located in a sustainable location. It sits in a residential area, outside a town centre, is not close to other community facilities and the public transport accessibility is low (PTAL 2-3). Overall, officers feel that whilst a new education facility might not be considered appropriate in this location, the expansion of the existing facilities are supported in principle subject to other considerations. The proposed facilities would provide high quality education facilities with potential for wider use and engagement with the local community.
- 6.12 DRP raised concerns that the proposed development would not allow for continued expansion of the education facilities beyond the current plans as there is no opportunity on the site for further expansion. Officers have also queried whether this is the right location for this quantum of education provision or whether there is opportunity to provide facilities off campus, thus reducing the quantum of development required on the site. The College have confirmed that as part of their expansion plans, over the next 10 years, the College is seeking to become a 'collegiate university' which would mean that central administration would continue at the application site together with provision of courses but that there would be a number of 'constituent colleges' around the UK under the Spurgeon's University authority, effectively acting as satellite institutions across the UK and potentially internationally. The College have indicated that there is already one institution under the university authority and another is expected to be brought in from 2024 and there are further conversations taking place with yet another. This explanation goes some way in explaining how the university could continue to grow where it to outgrow the current expansion plans for the site but further integration is required as to the level of education facilities required on the site in the near future and whether it would be of benefit to explore off site education facilities in one of Croydon's District Centres.
- 6.13 The policy position which directs new university development to the Borough's District Centres and accessible locations is important to note, as it means that when considering the planning balance for the scheme as a whole, the benefits arising from the expansion of the education facilities must be weighed in the balance against other very important policy expectations for a development of this type and any harm caused by the scheme. As noted below, no affordable

housing is currently proposed and officers have significant concerns with regards to the impacts of the scheme on protected trees. Given this, officers do have significant concerns with the extent to which the scheme would fall short of meeting other policy expectations. Whilst the scheme would provide benefits to the local community, officers are of the view that these benefits would not currently outweigh the harm caused and further amendments (and/or reduction in the scheme) are required to address these concerns. Should an application be submitted which does not overcome officer's concerns, this would need to be carefully assessed and the balance weighed up after detailed consideration of the proposals.

Residential – principle, housing mix and affordable housing

- 6.14 The proposal includes 42 houses (all of which are intended for sale on the open market). The site is not currently allocated within the Local Plan, however the development would contribute to the Borough's strategic housing targets. The provision of housing on the site is therefore supported in principle subject to assessment of other material consideration. Local Plan policies SP2 and DM1 seek to secure the provision of family sized housing in the borough. Policy DM1 sets out a site specific target for 60% of the new homes in this area to be family accommodation (3 bedrooms or larger) and DM1.2 also seeks to ensure that there is no net loss of existing 3 bedroom properties or properties under 130sqm. It would appear that the 'Principal's house' falls into this category. All 42 of the proposed houses would be 3 or 4 bedroom family homes and there would be no net loss of family houses which is supported by officers as is a benefit of the housing scheme (in contrast to previous flatted schemes which struggled to provide more than 11% family accommodation).
- 6.15 Policies SP2.4 and SP2.5 of the Croydon Local Plan seek to negotiate up to 50% affordable housing, subject to viability with a tenure mix of 60/40 in favour of affordable rented homes to intermediate homes, and also require a minimum provision of affordable housing to be provided, preferably in the first instance as a minimum level of 30% affordable housing on-site. Policies H4, H5 and H6 in the more recently adopted London Plan set out a strategic target for 50% of all new homes to be genuinely affordable, set out a threshold approach for major development proposals, where schemes providing a minimum of 35% affordable housing can follow the 'Fast Track Route' whereby they are not required to submit viability information (subject to meeting a number of other specified criteria), and set out a tenure split requirement (within the affordable element of a proposal) which requires a minimum of 30% of said homes to be low-cost rented homes, a minimum of 30% of said homes to be intermediate products which meet the definition of genuinely affordable housing, with the remaining 40% of said homes to be determined by the borough as low-cost rented or intermediate products based on identified need.
- 6.16 The applicant has provided an initial viability appraisal for the scheme based upon roughly 4,800sqm of education floorspace and 42 houses. The viability appraisal has considered the scheme as a whole, based on provision of traditional market sale houses and concludes that the scheme would result in a deficit and it would therefore not be possible to provide affordable housing. The applicant has not yet provided a detailed breakdown of the viability position

including supporting evidence to justify the assumptions, inputs and details of the appraisal. The initial viability position has been independently reviewed and there are various areas within the appraisal that the independent viability consultant has flagged as needing more information and interrogation. Overall, the independent viability consultant's initial conclusion was that the scheme could provide a profit and therefore there was an opportunity to provide affordable housing.

- 6.17 In particular, questions have been raised with regards to the gross development values, construction costs and benchmark land value. These mean that there is a significant difference in the appraisal outcomes from that put forward by the developer and that suggested by the Council's independent assessor.
- 6.18 The Council's independent consultant has also undertaken sensitivity testing with regards to increasing and decreasing residential values and construction costs which still provide a surplus for the scheme, in contrast to the information submitted by the developer.
- 6.19 In addition, officers had requested that the applicant review how the viability is impacted by the construction of the below ground (basement) education space. The applicant has undertaken a review of the impact of delivering the same quantum of education floorspace all at grade (without a basement) which the applicant has indicated would result in the reduction in residential delivery to 21 homes. Whilst there is some disagreement as to the method the applicant has used, the independent consultant has run a high level appraisal based upon 21 residential units and above ground education floorspace, they agree with the applicant that this would have a detrimental impact upon the viability (albeit that it would still appear to result in a profit). This sensitivity testing requires more detailed analysis as it is dependent upon the value of the proposed education floorspace which is an area where the independent consultant has requested more evidence. In addition, this sensitivity testing may need to be expanded upon to review the viability impacts of the basement and development layout on protected trees and Biodiversity Net Gain (BNG). These other aspects of the scheme could have significant cost implications for the applicant. Delivery of off-site biodiversity net gain is expected to be significantly more than on-site delivery and replacement rather than retention of about 80 trees is also considered to be a potential cost to the scheme.
- 6.20 The independent consultant has also questioned whether there are other funding streams for delivery of the education facilities. The applicant has indicated that if they are not able to realise the residential development and education expansion plan they may have to consider leaving the site and possibly the borough to enable their expansion elsewhere.
- 6.21 Officers note that the review undertaken has not been underpinned by detailed analysis of the justification and evidence to support assumptions and inputs which has not yet been provided by the applicant team. This will need detailed review going forward but the initial review has suggested that the scheme would provide a surplus suggesting that the scheme could provide some affordable housing. As the scheme progresses, and as part of any future planning

application, officers will seek to secure the maximum level of affordable housing delivery on the scheme.

- 6.22 Given the interplay between the delivery of residential development to financially enable the provision of the education facilities, it is considered likely that the phasing and delivery of the expanded education facilities would need to be secured within a s106 agreement.

Trees

- 6.23 Policy G7 of the London Plan sets out that development proposals should ensure that, wherever possible, existing trees of value are retained, and that where it is necessary to remove trees adequate replacements should be provided. Policies DM10 and DM28 of the Croydon Local Plan seek to retain existing trees and do not permit developments that result in the avoidable loss of preserved or retained trees where they make a contribution to the character of the area.

- 6.24 The site is partially covered by woodland to the rear portion of the site, and this woodland character extends along both the north west and south eastern boundaries of the site. This woodland character is a key character of the site and the trees along the boundaries provide the added benefit of providing a green outlook and buffer for neighbouring properties surrounding the site. Whilst the site is not highly visible from the streetscene, the tree line along the boundary with Wharncliffe Gardens and Grange Gardens is visible within each of these streetscenes and the initial approach from South Norwood Hill is tree lined, with the access road opening to a clump of mature trees to the centre of the car park. The trees on the site are a mixture of high-quality trees (with a large proportion of category A and B trees on the site). The majority of trees on the site are protected under a woodland Tree Preservation Order.

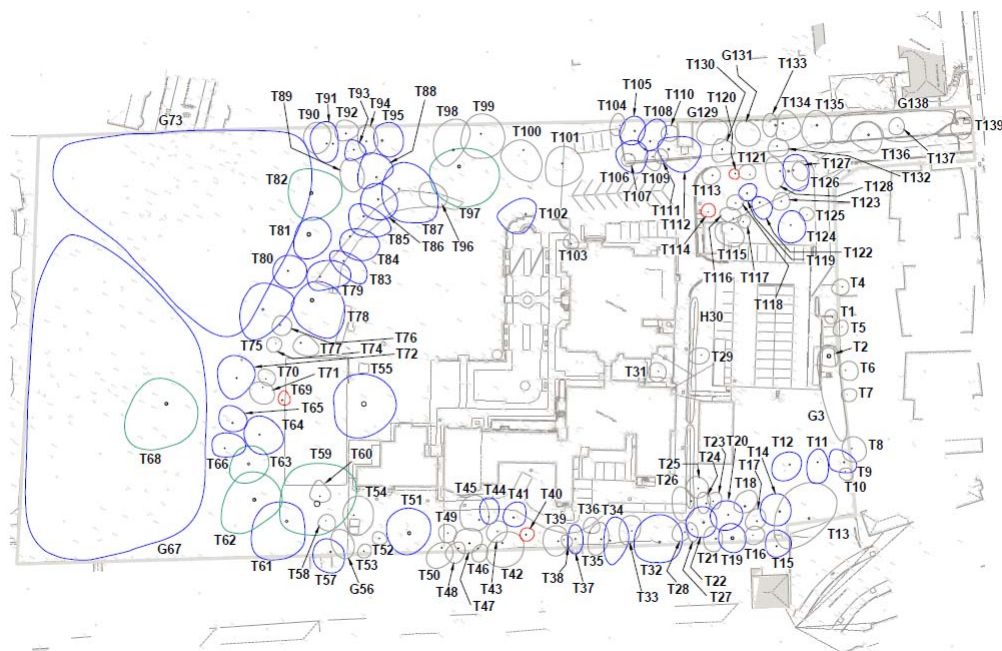


Figure 10: Existing Tree plan based on survey work from February 2023 (Category A trees in Green, category B trees in blue, category C trees in grey and category U trees in red).

by about 1m). The key concern in this area is the removal of a high quality group of category B trees within the main car park (trees T104 – T112). The trees are in good condition and form a cohesive group and should be considered for retention within the proposed scheme. Whilst officers support the delivery of disabled and high-quality pedestrian access into and across the site, the current approach would result in significant engineering operations to alter the existing land levels, lowering the existing car park outside the main entrance of Walker House by roughly a 1m. The applicant is encouraged to test alternative layouts and arrangements to achieving pedestrian and disabled access into the site and provide further detailed justification for the final design. The existing trees here and to the access road are also considered to provide a visual and noise buffer for neighbours which will also be lost with their removal although replacement planting is now proposed within the car park along this boundary. Overall, the quantum of trees proposed to be removed in this area is considered excessive and contributes a large number of trees to the total number of trees to be removed as part of this scheme.



Figure 12: plan of trees T104-112 to be removed

Thomas Johnson Building

- 6.28 The proposed footprint of the Thomas Johnson building would require removal of a number of high quality TPO trees and would impact upon others. The trees in this location (T96 – T102) are considered to be of high value, particularly a large Oak tree (T97) which is a category A tree. In various versions of the scheme, this tree (located to the inner corner of the ‘L’ shaped building) is shown to be removed, but the applicant is seeking to retain the tree (without making significant alterations to the footprint of the building). It is anticipated that TPO tree roots extend beyond, and into the area for the proposed footprint, therefore the applicant is undertaking soil investigation to determine root presence.

However, if roots are discovered it will indicate the unsuitability of the position and footprint of the TJ building. It is also noted that the existing tree line in this area forms an extension of the woodland structure, and the loss of trees would deplete the woodland and reduce its historic value and biodiverse habitat and would remove trees which currently provide screening for neighbouring residents.



Figure 13: relationship between TJ building and adjacent trees

Impact on prominent Horse Chestnut and Oak (T55 and T59)

- 6.29 The construction requirements for the proposed parking (in the southern most corner of the development) and play areas beneath the trees are generally considered acceptable. The removal of the old tennis court would need to be undertaken sympathetically with arboricultural supervision. The provision of protection measures such as root bridges or cellular confinement systems is recommended by officers and no excavation below existing land levels in this area would be supported. Whilst there is a 4% incursion into the tree protection area of the Horse Chestnut tree (T55), officers consider that this level of incursion could be accepted subject to arboricultural supervision. Officers have also recommended that the root area for the trees should be modified to better reflect the obstruction from the existing dwelling in proximity to the trees.



Figure 14: Horse Chestnut with Oak tree in background

South Eastern Boundary

- 6.30 The location of the proposed houses along the south eastern boundary results in the need to undertake excessive tree removal to facilitate the quantity of units. A small number of existing trees would be retained, however, at a recent site visit, officers noted a historic mound which runs parallel to the south eastern boundary which if requires levelling for the gardens would require excavation within the root protection areas of the TPO trees which could lead to detrimental health impacts to the quality of the trees if tree roots are present. Moreover the very close proximity of trees within the compact rear gardens are considered to dominate any reasonable enjoyment of the available garden space, dominating natural sunlight. It is therefore considered that the retained trees are likely to come under significant post-development pressure. Finally, the trees along this boundary provide a useful screening for residents backing onto the site along Wharncliffe Gardens and without this screening the proposed development will appear more overbearing upon these neighbours. It is worth noting that the recent site visit noted a large tree (T14) in very poor structural condition which officers have recommended be removed immediately and removal of a partially failed tree and it is expected that this work will take place imminently.



Figures 15: showing the prominence of the tree line along the south eastern boundary

- 6.31 Officers have significant concerns with regards to the loss of trees to facilitate the proposed development. The concerns have several layers including:

- the high number of good quality trees to be removed to facilitate development is considered to be contrary to the London Plan and Local Plan policies.
- Several highly visible category A and B would be impacted by the development, through incursions into their root protection areas and development in close proximity.
- the position of the proposed development is considered likely to give rise to significant post development pressure on the remaining trees particularly to the south eastern boundary of the site.
- Loss of visual screening along boundaries of the site

6.32 Officers consider that design changes and potential reduction in the scale of development is required to deal more sensitively with the tree constraints on the site. The applicant has suggested that in order to retain all or more trees along the south-eastern boundary, they would have to move the residential building line approximately 10m further north which would reduce the housing scheme by around 15-16 houses which would not be viable. Officers acknowledge the viability position, but suggest that this or alternatives should be tested further given the positive benefits of retaining trees (and other potential benefits of an alternative approach such as moving some of the education facilities to grade level which might reduce build costs and balance out the viability impact of a reduced number of homes).

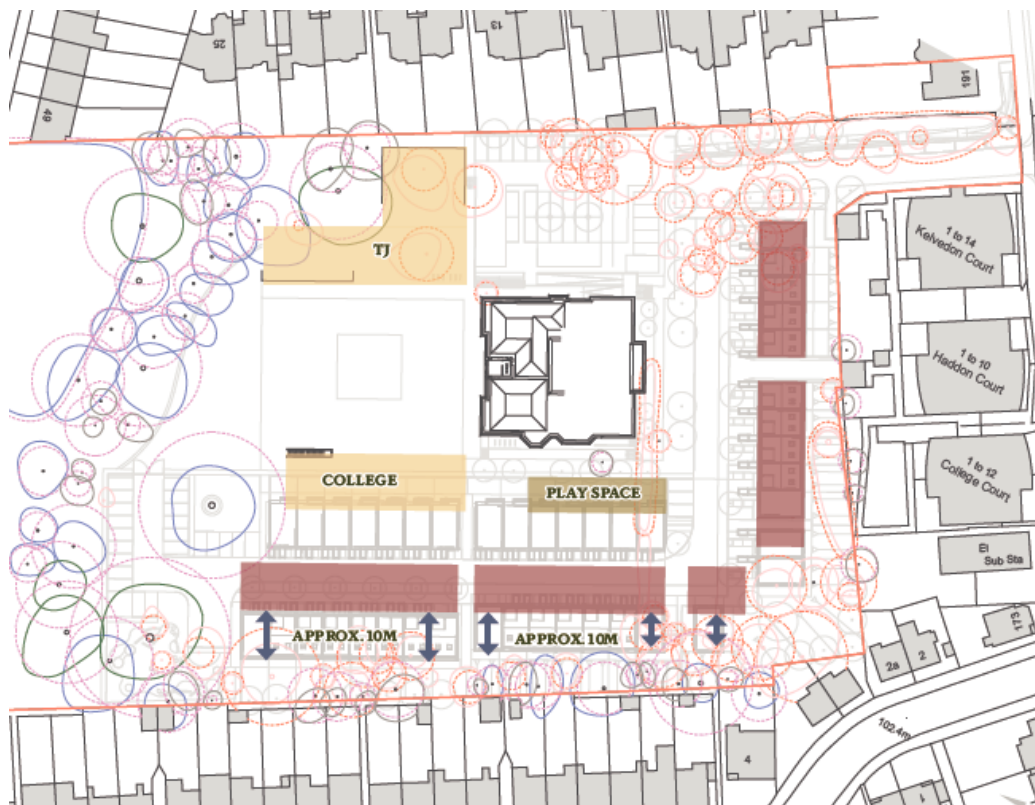


Figure 16: sketch of layout to improve the relationship with trees along the boundary

6.33 The applicant has proposed to replace the removed trees with roughly 110 new trees. Limited information has been provided with regards to this tree replacement strategy. New trees are proposed to the entrance route, within the

car park for the College, along the south eastern boundary and within the street scene along the rear of Walker House and in front of the new residential properties. There are concerns about the species, their location (in terms of the rigidity of their layout) and the quantum which need further resolution. The proposals are not considered sufficient to overcome the loss such a significant number of trees. Officers would welcome members views on this aspect of the scheme.

Townscape and Visual Impact

6.34 Policies D1, D2, D3, D4 and D8 of the London Plan seek to ensure that development makes the best use of land by following a design-led approach that optimises the capacity of sites, enhances local context by delivering buildings and spaces that positively respond to local distinctiveness, are of a high design quality, and ensure that new public realm is well-designed, safe, accessible, inclusive, attractive, well-connected, related to the historic context, and easy to service and maintain. Further to the above policies HC1 and HC3 of the London Plan outline that development proposals affecting heritage assets, and their settings, should conserve their significance. Policies SP4 and DM10 of the Croydon Local Plan require development to be of a high quality which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape to create sustainable communities, respect the development pattern, scale, massing and appearance of the surrounding area, have high quality architectural detailing and provide landscaped spaces which are visually attractive, easily accessible and safe for all users. Policy DM14 of the Croydon Local Plan requires all major schemes to include public art. Policy DM18 of the Croydon Local Plan requires development to preserve and enhance the character, appearance and setting of heritage assets within the borough.

6.35 Throughout the previous pre-application discussions for a flatted scheme there were significant concerns with regards to design of the development, in terms of scale and layout, architectural design, landscaping and heritage. The proposed housing development in the current design is considered to be more sensitive and sympathetic to the surrounding context/suburban grain due to a reduction in scale and height, which is welcomed. The current scheme has overcome a large number of the previous concerns. However, officers do have outstanding concerns that the current scheme still results in some harm to the locally listed building and the design has not been refined to sufficient quality, to ensure that the new education buildings would create a legible, civic environment for students, nor provide a landscape-led residential development for residents.

Heritage

6.36 The site formed part of the former Falkland Park. The main building of Spurgeon's College known as Walker House first appears on 1890 OS Map and is locally listed. The mass of the extension on the north-eastern section of Walker House also appears on 1890 OS Map. The remaining buildings on site consist of a Library, a Chapel and connecting buildings plus a Principal's house varying from 1 to 3 storeys in height. Walker House retains at least two architecturally significant elevations and a significant roofscape. Other elements are also of

historic interest in how the building has developed and been used over time. The landscape setting of the building and its relationship to the woodland on the site is important to its historic significance. DRP noted that the whole site should be considered as a parkland setting. It is acknowledged that later phases of building (which on the information provided do not appear to be of interest) have eroded some of its special interest and setting, nevertheless important aspects of architectural, historic and landscape interest remain.

- 6.37 Whilst the chapel and library are not statutorily or locally listed, they positively contribute to the setting of Walker House in terms of their mass and scale therefore, their loss should be justified with a high quality and characterful design that enhances the setting of the heritage asset. Given the scale, design and proximity of the proposed TJ building and residential buildings, the current scheme is still considered to result in some heritage harm although officers acknowledge that this scheme has less impact than previous schemes which were significantly larger and more dominant. Officers are working with the applicant to overcome the remaining areas of concern and have recommended that the footprint of the TJ building be amended to provide a large sky gap between it and the corner of Walker House and further design resolution to ensure that the buildings and extensions respond sensitively to the locally listed building, this is discussed in more detail below. Officers have also advised that details of the proposed demolition and construction (particularly the basement and rear extension) are required in order to record any uncovered historic features and ensure that the construction methods would not undermine the stability of the locally listed building.

Site Layout & Landscaping

- 6.38 The principle of the proposed landscape narrative set out by the applicant of 'homes among trees' is supported and aligns with the DPR feedback. This needs to be further emphasised in the site layout and landscaping design. Officers would encourage much more diversity of planting specification and landscaping across the site to help distinguish the two zoned uses and defined character areas. For example, a more informal natural landscaping could be utilised in the residential areas whilst the university area could have a more formal landscaped character. Given the concerns raised about trees, officers suggest that the woodland character needs to be more celebrated as part of the landscaping specification and design especially to the south eastern boundary of the site with less orthogonal, natural forms and planting bringing the woodland character through the 'perimeter mews'. Officers suggest that this should be achieved not just through trees, but clustering in more natural formations rather than the current uniform spacing of buildings and planting. The most recent iteration of the plans has started to address this better, in terms of providing a less rigid footprint which better relates to the topography of the site but officers would like to see this pushed further, and more detail is required to understand what benefits in terms of tree retention this design provides.
- 6.39 DRP felt very strongly that the scheme appeared 'car-led' in terms of public realm and suggested that this needed to be re-considered. Officers acknowledge that 1-1 parking is required on the site, therefore it is not possible to reduce parking to improve the public realm. However, further detailed design is required

for the landscaping proposals to ensure that the landscaping and planting to the front of homes is of suitable quantity, quality and variety, supporting the principle of 'homes amongst trees' rather than dominated by the parking layout.

- 6.40 The provision of play to the centre of the residential part of the site is positive and welcomed by officers, ensuring accessible doorstep play. Additional playspace and access to part of the woodland is also supported. Further details of the extent of access to the woodland and any boundary treatment between the two uses is required. Boundary treatment across the site needs to be carefully considered as part of integrated landscaping and public realm design, given the amount and scale of boundary fencing proposed. Soft landscaped boundary treatments are encouraged.
- 6.41 Improvements to the accessibility and legibility of the site is welcomed by officers, although further detail of the required excavation and land level changes are required and significant excavation or build up of land should be limited where possible particularly if it would enable more trees to be retained. Further details and testing is needed with regards to the entrance ramp design but improvements to the access route are welcomed by officers. Officers have encouraged the applicant to consider accessibility across the site in as much detail and consideration, and suggest further testing site layout, access, pathways and landscaping approaches through considering the experience of a child, especially in the residential area of the site, and the experience of a student as mentioned in the DRP.
- 6.42 With regards to the arrival experience, officers do have significant concerns with the elevated walkways to the front of the Walker House extension, Walker house and the TJ building. These currently contribute to an unwelcoming arrival experience by creating a visual barrier with steps, ramps and railings, separating the arrival space from Walker House, thus disrupting the legibility of the setting, and practical usability of entrances. The applicant has sought to improve the arrival experience through provision of landscaping, but this could be further improved and enhanced through a more integrated landscape design in the style of an amphitheatre steps to the corner of the arrival square. This approach would not only improve the setting of Walker House, visual appeal and legibility of entrances, but also provide students with a welcoming, civic space.
- 6.43 The site is set back from the road and the buildings are mostly not visible within the street scene of Wharncliffe Gardens, South Norwood Hill and Grange Gardens although the existing trees, particularly those along the south eastern boundary are highly visible between building gaps. The massing of the proposed houses in close proximity to the boundaries, together with tree removals mean that the development would be visible from the surrounding street scene in the gaps between houses. However, the scale and mass of the buildings is such that it would not appear dominant or out of keeping within the street scene.



Figure 17: View from South Norwood Hill (development highlighted in red)

Architectural design - Residential Blocks

6.44 The residential development needs to mediate between the locally listed Walker House and surrounding suburban context. As part of this, the scale of massing of the development should also be informed by the surrounding suburban grain/plot sizes to ensure the proposals successfully reflect and enhance the prevalent suburban character of South Norwood. The design of the residential terraces has been split into two zones, College Green and Perimeter Mews with different designs for each. This is supported and recent design changes have given the two different zones a more defined character in terms of materiality and form. The form of the Perimeter Mews, with pitched roofs a less rigid form is more reflective of the surrounding suburban layout and design and is supported in principle subject to further design development. Further testing of this layout is needed to fully understand how the form and layout could bring further benefits of retaining trees and providing high quality amenity spaces.





Figure 18: Residential terraces, detailed design

- 6.45 The proposed flat roofs and a more formal design to the College Mews is supported but officers feel that the roof line for these terraces should follow the datum line set by Walker House and have a more formal quality to reflect their relationship with the locally listed building and TJ building in framing the lawn. Further design resolution is required to the elevational treatment and design to address this relationship, including detailed approach to the boundary treatment proposed between the rear gardens of the College Mews, and College Lawn.
- 6.46 Officers support the design approach to the treatment of the side elevation of the corner house at the entrance of the site and recommend that this approach be considered for other side elevations across the site, including the side elevation facing onto the play area. The woodland facing mews block could be supported but further detail is required to understand the prominence of the side and rear elevation from the new street scene and how suitable boundary treatment is designed.

Architectural design - University buildings

- 6.47 The proposal for below ground educational use is supported in principle as it reduces the above ground massing and would allow the opportunity for the educational buildings to be all connected. Further information is required with regards to the treatment of courtyard lightwell and balustrade treatments and environmental impacts of the basement.
- 6.48 As set out above, officers have significant concerns with regards to the massing and footprint of the TJ building in relation to its impact upon protected trees. In addition, there is some heritage concern that the proximity of the building to Walker House reduces the prominence of Walker House, thus it would not enhance the setting of the locally listed building. This is also a concern from a legibility perspective from the entrance courtyard, as the slender gap together with the railings and ramps limits permeability and views through to the woodland and green space and does not create a high-quality civic space on arrival at the entrance of the College. This entrance arrival is also undermined due to the design of the TJ building. Whilst the design has improved in the more recent iterations, officers consider the elevation of the TJ building facing onto the entrance courtyard (car park) still reads as a side elevation and does not positively frame the entrance space, providing a strong civic arrival space to the site. This was also highlighted by DRP. The applicant has tested introducing a chamfered corner to the building to widen the gap slightly. Officers are not convinced by this as it introduces a further angle to the building which is at odds with the rest of the design. Officers are also not convinced by the rationale that further setbacks are not possible based on current plans and internal space arrangement. Officers also note that the TJ building height appears to have

increased and no longer follows the datum line of Walker House which adds to its dominance against the locally listed building.



Figure 19: Images of Education extension to Walker House and TJ building

6.49 Officers suggest that further design resolution is required for the TJ building. The principal of a high-quality contemporary design could be supported, but the proportions of the building particularly in terms of irregularity of the vertical fin design and window fenestration currently lacks rationale and requires further testing. Officers feel that the spacing needs more proportional rhythm and it is unclear why the window positions have consistent spacing on some floors where others feature irregularity which lacks coherence. Officers have asked for precedents to understand and assess the proposed use of GRC cladding.

6.50 As it stands, the proposed rear extension to Walker House appears to correspond to the main house in terms of its mass and scale and proportions, therefore the design intent focusing on simplicity and subservience is supported which would allow Walker House to be prominent and appreciated at the arrival point. However, there are some areas that require further detailed design resolution. The testing of brick tones is positive, but the materials proposed for the set back link and roof extension (metal standing seam) are considered too industrial and solid and would be out of keeping with the design of the locally listed building. Officers have raised concerns with the window alignment at roof level and lower levels, particularly on the eastern elevation where they detract from the central cross feature. This central cross feature creates a focal point on the eastern elevation which enhances the visual amenity of residential units providing a front of house appearance to the elevation which is supported

however the window positioning disrupts the legibility of the cross as a focus feature. The applicant has sought to demonstrate that the windows at roof level would not be highly visible from the streetscene within the site, however, the misalignment would be read from the upper floors of the adjacent properties and wider streetscape. Officers note that the South eastern elevations for the extension have not been submitted to date. These have been requested to understand the visual impact of the extension upon the proposed College Mews houses. Officers have raised concerns that the two new university buildings – the TJ building and the Walker House extension, currently lack relationship to each other and have requested that there is some shared architectural language to ensure the university ‘campus’ overall reads as a cohesive collection of buildings.

Conclusion

- 6.51 In principle the architectural approach to the development could be supported, however the architectural approach and quality does not overcome or outweigh the harm to protected trees and the impact on the locally listed Walker House is still to be resolved. Officers consider that the footprint and layout of both the education and residential buildings requires further consideration to improve the relationship with trees. Further resolution of the landscape and public realm design is also required. The residential building design is significantly improved since the initial submission but would benefit from further refinement. Officers consider that there is still further resolution required for the education buildings to ensure that these provide a high quality civic appearance which enhance the setting of the locally listed building.

Housing Quality for Future Occupiers

- 6.52 Policy D6 of the London Plan states that housing development should be of high quality design and sets out a range of quantitative and qualitative aspects that new housing should comply with, including minimum internal space standards which are reflective of the Nationally Described Space Standards (NDSS) as well as minimum private external space standards. Policy S4 of the London Plan states that residential developments should incorporate good-quality, accessible play provision for all ages of at least 10sqm per child. Policies DM10.4 and DM10.5 of the Croydon Local Plan require new residential development to provide private amenity space that is of high-quality design, a minimum of 10sqm per child of new play space, as well as high quality communal outdoor amenity space that is designed to be flexible, multifunctional, accessible and inclusive. Furthermore, policy DM10.6 (d) of the Croydon Local Plan requires proposals for development to ensure that they provide adequate sunlight and daylight to potential future occupants.
- 6.53 Officers understand that all the proposed houses would either meet or exceed the National Technical Space Standards and are all being designed with outdoor amenity space in the form of private gardens. The internal layouts of the houses provide high quality spaces, and all of the houses would have dual aspect. As highlighted in the section above on Trees, officers do have some concerns about the useability and quality of some of the garden spaces, with the shortest gardens measuring 7m from the boundary with large trees either retained or proposed

within this small garden space. Officers have yet to be convinced that the gardens would provide high quality private amenity space.

- 6.54 Given the education use of the majority of the site, the applicant has confirmed that the residents of the new homes would not be able to have unfettered access to the education land, including the 'College Lawn' and wider woodland. A small section of woodland is expected to be provided for playspace and the College has indicated that there may be the possibility of limited access to the lawn outside of term times.
- 6.55 Officers have some reservations with regards to the living conditions for residents of the terrace backing onto the College 'lawn'. The properties will have 5m deep rear gardens with land levels sunken below the level of the College lawn. Further evidence is required to demonstrate how privacy would be maintained for residents, appropriate boundary treatment and how the two uses would interact successfully, especially given the outlook for residents over the 'College Lawn' to which they would not have daily access.

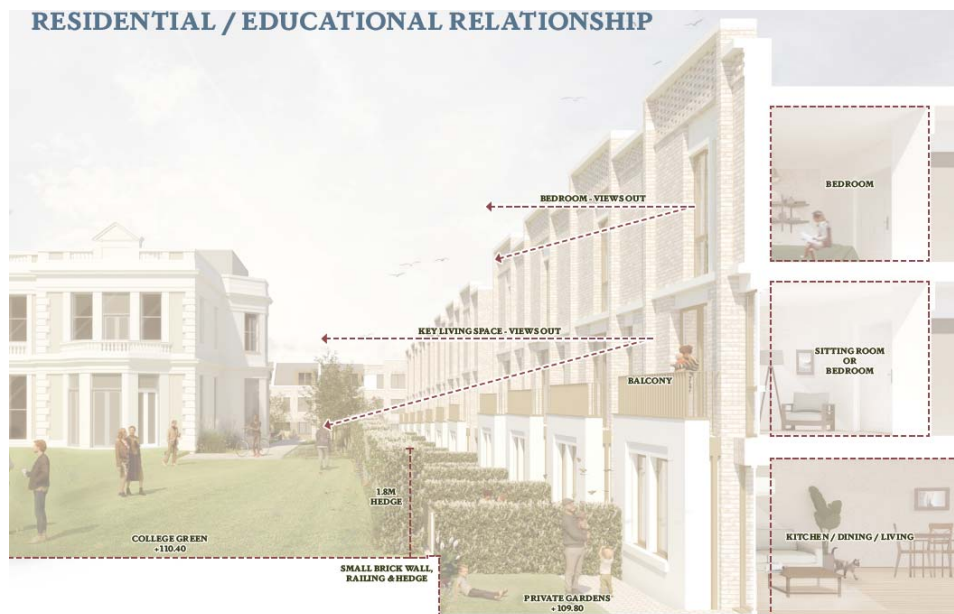


Figure 20: Relationship between houses and College

- 6.56 The properties adjacent to Walker House would be located a minimum of 10m from office windows within Walker House. The Local Plan sets out a rule of thumb guidance that suggests window to window distances of 18-21m should be a starting point between habitable room windows. The Walker House windows are not habitable room windows, as the rooms will be used as offices and meeting rooms. However, given the size of the windows, including large bay windows and the proximity of the two uses, officers are concerned that residents would not have sufficient privacy even with tree planting and land level differences.



Figure 21: relationship between Walker House and houses

6.57 In addition, a recent change to the plans have introduced a small row of terraces close to the woodland entrance. These would sit at right angles to the remainder of the houses. Local Plan policy DM10.6c states that in order to protect amenity of adjoining occupiers, development should not result in direct overlooking of private outdoor space within 10m perpendicular to the rear elevation of a dwelling. The end property on the terrace would overlook the rear garden of the end property on the main terrace and whilst the garden has been increased from 5m to 7m in depth, the relationship is still considered to give rise to concerns with regards to overlooking.

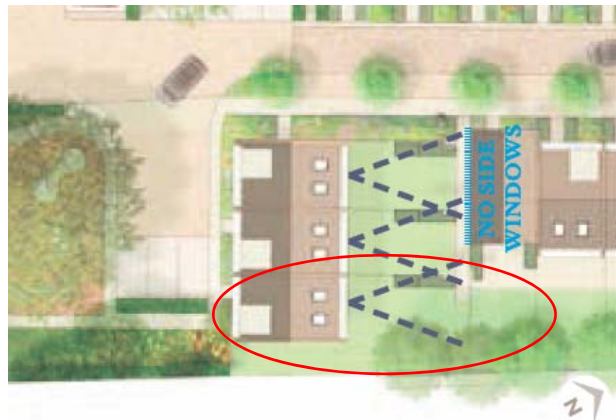


Figure 22: showing overlooking of garden

6.58 In line with the Local Plan policy DM10.5, the scheme provides on-site playspace in the form of a small play area to the centre of the residential street and additional playspace within the wooded area adjacent to the car park. For the current scheme (31x3bedroom and 11x4 bedroom homes) at least 224sqm is required and the site offers over 300sqm of playspace therefore the quantum of space is considered acceptable subject to high quality design. Officers are very keen to see high quality doorstep play for younger children at the centre of the scheme and the current location for this is supported subject to detailed design, layout and accessibility. The additional playspace within the woodland must also be designed with care given its location within the root protection zones of multiple high quality trees and limited natural surveillance.

- 6.59 Policy D7 of the London Plan states that at least 10% of new dwellings shall meet Building Regulation requirement M4(3) 'wheelchair user dwellings', with all remaining new dwellings meeting Building Regulation requirement M4(2) 'accessible and adaptable dwellings. It is clear from the floorplans of the houses that the design is considering Part M of the Building Regulations, however further detail is required to ensure that the designs are fully compliant and the M4(2) properties are accessible and adaptable. This level of detail is expected to be submitted as part of a planning application.
- 6.60 As stated above, officers support the DPR comments about reducing car dominance within the site and ensuring that the scheme is more landscape led. Further detailed design and information is required to demonstrate that the routes through the site for residents are legible and safe and provide a clear sequence of spaces. The current scheme provides a much better demarcation and understanding of education and residential spaces and shared spaces (between the residential development and university space). However, as noted in the DPR comments, one of the benefits of living on the site would be the 'parkland' setting and therefore officers feel that access arrangements for residents on university land need to be agreed and secured through a planning permission.

Impact upon Neighbours

- 6.61 Policy DM10.6 of the Croydon Local Plan states that proposals for development will need to ensure that the amenity of the occupiers of adjoining buildings are protected; and that they do not result in direct overlooking of neighbouring properties nor result in significant loss of existing sunlight or daylight levels for adjoining occupiers. The Local Plan sets out the useful yardstick for achieving visual separation between dwellings by setting a minimum distance of 18-21m between facing homes.

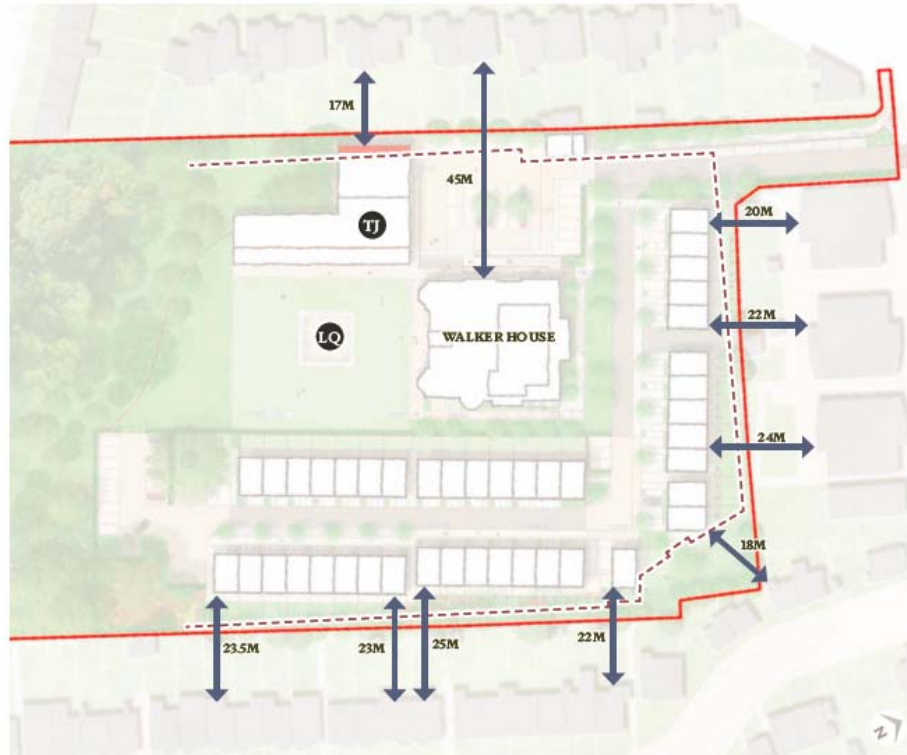


Figure 23: Distances between development and neighbours

6.62 The layout of the development means that it will introduce massing in close proximity to the boundaries of the site with South Norwood Hill, Wharncliffe Gardens and Grange Gardens. Figure 23 provides window to window distances for properties surrounding the site. The properties are 2-3 storey in height and the set on a higher land level. Generally speaking, the distances between the houses and the neighbouring properties is between 18-25m which is generally considered to protect residential amenity of neighbours subject to further details in terms of sections and daylight sunlight analysis. However, the existing tree line along the boundary with Wharncliffe Gardens provides screening for the residential properties and would continue to play an important role given that the footprint of the new houses close to the boundaries of the site. The removal of trees along this boundary (and potential for post-development pressure on remaining trees) is not supported as it would reduce the privacy for these neighbours.

6.63 The Thomas Johnson building would step down from 3 storeys at the front down to 2 storeys but the rear elevation would sit in close proximity to the boundary with no. 15 and 17 Grange Gardens. The proposed building would not have any windows in the rear elevation which would protect the privacy of these neighbours. The rear elevation would be roughly 17m from the rear windows of these properties at the closest, however due to land level changes, it would appear as a large blank elevation close to the boundary. The loss of trees in this location and the lower height of neighbouring properties would further affect the residential amenity of neighbours in this location, which is a concern. Further information is required to understand this relationship and design options should be explored to improve the relationship with neighbours in Grange Gardens.

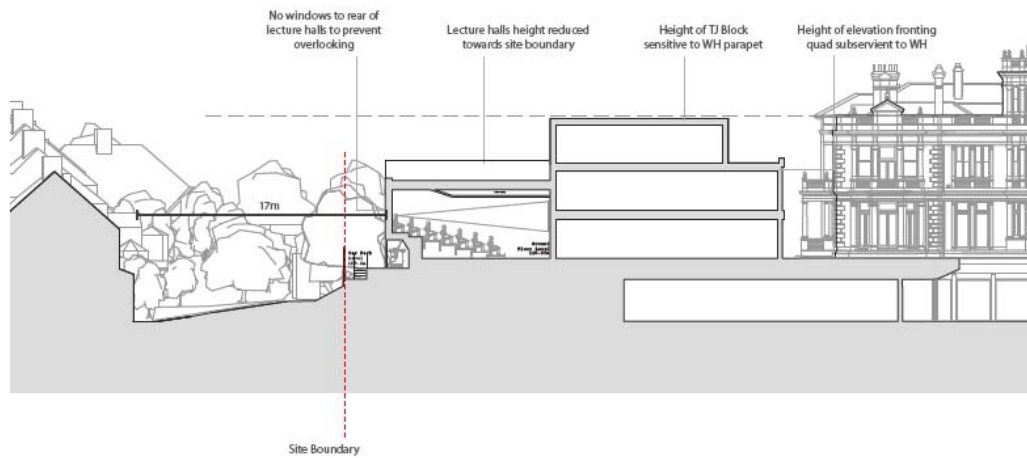
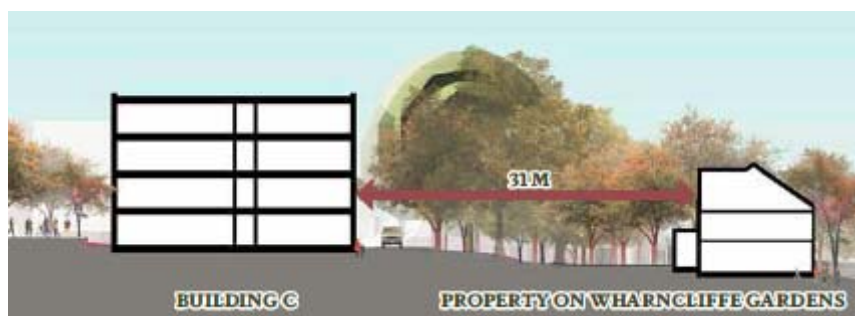


Figure 24: showing the relationship between the TJ building and properties on Grange Gardens

6.64 It is worth noting that previous development proposals for the site included large blocks of flats which whilst located further from the boundaries of the site with Wharncliffe Gardens, were 4-6 storeys in height. Officers had significant concerns with regards to these larger schemes in terms of overlooking, loss of privacy and loss of daylight and sunlight. In that respect, the current scheme is a significant improvement upon these past proposals.



Figures 25 : Examples of relationships between flatted scheme and neighbours

Ecology and Biodiversity

6.65 Policy G6 of the London Plan states that development should manage impacts on biodiversity and aim to secure net biodiversity gain, whilst policies SP7 and

DM27 of the Croydon Local Plan seek development to incorporate biodiversity measures such as green roofs and green walls which enhance local flora and fauna and aid pollination locally. Finally, policy G5 of the London Plan states that major development proposals should contribute to the greening of London by including urban greening as a fundamental element of site and building design.

- 6.66 A planning application will need to be supported by adequate and up to date ecological surveys and assessments to enable officers to determine that the proposals submitted are in line with national and local policy and statutory duties. This will include likely impacts on designated sites (international, national and local), protected species and Priority habitats and species - not just significant ones. All surveys must be undertaken by suitably qualified ecologists at the appropriate time of year using standard methodologies. Effective and robust measures, in line with the mitigation hierarchy, must be also proposed which have a high degree of certainty for their deliverability in the long term. If there are residual impacts, these will need to be compensated for on site or offset and appropriate enhancements included to ensure that a Biodiversity Net Gain is demonstrated from the development. A preliminary ecological survey has been reviewed by the Council's ecology consultants who have recommended that an updated ecological report will be required for any future planning application as the original site walkover and bat survey were undertaken in summer and autumn 2022 with the results no longer valid after October 2023.
- 6.67 The site is not located within close proximity to any statutory designated sites and is therefore not within any Zone of Influence for these sites. The ecology report has identified that there are a number of Sites of Importance for Nature Conservation (SINCs) within two kilometres of the site. Two of which are in close proximity to the site. (Grangewood Park and Beaulieu Heights). Whilst the ecological survey confirms that the woodland on the site is to be retained, it does not address the fact the roughly 80 trees are proposed to be removed from the edges of the woodland and what the impact of this might have upon the non-statutory designated sites. Further consideration is therefore required as to the impacts and the ecological survey will need to be updated.
- 6.68 With regards to European protected species, the applicant has concluded that the site does not provide suitable habitat for Great Crested Newts (GCNs). It is recommended that this is reassessed as part of the updated assessment. Surveys were submitted with regards to bats, however these are out of date and the surveys themselves were constrained. The ecological report should update the Preliminary Roost Assessments of the existing buildings and the Ground Level Tree Assessment (GLTA) of the trees. Any updated ecological assessments should determine if updated surveys are required and if not clearly detailing the reasons why they are not required. Further clarity regarding why the buildings are not suitable for roosting bats will be required. It is indicated that the ecological assessment must include a GLTA of any trees which are proposed to be removed or modified on the site, to determine the likelihood of bats being present and affected. This assessment categorises the roosting habitats present and determines whether further surveys are required to determine the presence/likely absence of bats or to categorise a roost site. If further bat surveys are required, the results with mitigation will be required prior to the determination

of any planning application to allow officers to have certainty of the likely impacts on European Protected Species. In addition, if any external artificial lighting is proposed, a Wildlife Lighting Design Scheme may be required, in line with best practice guidance from Bat Conservation Trust and Institute of Lighting Professionals.

- 6.69 Further consideration and updated surveys are required with regards to UK protected species, to review badger activity on the site and potential reptile habitat on the site. Consideration must be given to nesting birds. With regards to priority species, hedgehogs have been observed on the site and suitable precautionary mitigation measures have been suggested. If priority habitat (such as woodland) is affected then appropriate considerations, in line with the mitigation hierarchy must be provided. Further details and clarifications should be provided as part of the updated ecology assessment and this should cross-reference the arboriculture reports to fully understand whether any of the trees, particularly the ones to be removed, are considered to be priority habitat.

Biodiversity net gain

- 6.70 Biodiversity Net Gain is development that leaves biodiversity in a better state than before (CIEEM, 2016). It is also an approach where developers work with local governments, wildlife groups, landowners and other stakeholders in order to support their priorities for nature conservation. The National Planning Policy Framework sets out that projects should provide biodiversity net gains, under paragraphs 180 [d] and 186 and London Plan G6 also aims at achieving a biodiversity net gain. Officers expect development will contain the provision of biodiversity enhancement measures and expect that the development should contain a range of enhancements, such as integrated bird and bat boxes, Hedgehog homes, Hedgehog friendly fencing and native, species rich hedgerow and tree planting.
- 6.71 This is a major residential development and therefore it will need to be supported by a Biodiversity Net Gain Assessment to demonstrate how it would achieve the Mandatory 10% Biodiversity Net Gain if a planning application were to be submitted on or after 12th February 2024.
- 6.72 The Biodiversity Net Gain Assessment should inform the soft landscape proposals. The applicant has provided an initial calculation of the Biodiversity Net Gain. The applicant's initial report suggests that they do not feel it is possible to provide 10% biodiversity net gain on site due to site constraints and they are therefore considering an off-site approach. Should the scheme seek to provide an off-site biodiversity net gain, it should be noted that whilst this would be secured through a legal agreement, it is highly likely that the scheme through which the net gain is achieved would not be in the area local to the site and possibly not within the Borough boundaries. Our ecology consultant has advised that in the first instance BNG should be sought onsite as much as possible through habitat enhancement and or creation. After which, if required then off-site compensation should be sought and secured by legal agreement.

Transport

- 6.73 Policies T1, T2, T3 and T4 of the London Plan seek to ensure that development proposals facilitate the delivery of the Mayor's strategic target of 80 per cent of all trips in London to be made by foot, cycle or public transport by 2041 and deliver patterns of land use that facilitate residents making shorter, regular trips by walking or cycling, support capacity, connectivity and other improvements to the bus network, and ensure that impacts on the capacity of the transport network, including cumulative impacts of development, are fully assessed with mitigations through improvements or financial contributions. Policies T5, T6, T6.1, T6.3 and T6.5 of the London Plan seek to ensure that a suitable quantum and quality of car and cycle parking provision is provided within developments, including suitable provision of disabled persons parking. Policy T7 of the London Plan seeks to ensure that development proposals facilitate safe, clean and efficient deliveries and servicing and provide adequate space for deliveries and servicing off-street. Policy T9 of the London Plan sets out that planning obligations, including financial contributions, will be sought to mitigate impacts from development.
- 6.74 Policies SP8, DM29 and DM30 of the Croydon Local Plan require redeveloped sites to increase permeability, connectivity and legibility and require development to contribute towards the provision of electric vehicle charging infrastructure, car clubs and car sharing schemes, promote measures to increase the use of public transport, cycling and walking, have a positive impact and must not have a detrimental impact on highway safety and do not result in a severe impact on the transport network local to the site, as well as providing a sufficient level of car and cycle parking.
- 6.75 Should a full application be made it would need to be supported by a Transport Assessment including an ATZ to incorporate active travel improvements, Travel Plan, Delivery Service Plan, Waste Management Plan and Demolition/Construction Logistics Plan.

Car parking

- 6.76 The applicant has undertaken parking stress surveys in the surrounding streets both during the daytime and overnight. The surveys confirm that whilst there is some evidence of parking stress on South Norwood Hill, there was also found to be capacity on the surrounding streets for some overspill parking off site (roughly 20 spaces). A parking survey for the existing College car park confirmed that the existing parking provision was underutilised on the day of the survey (only 19 members of staff were noted).
- 6.77 For the residential element of the scheme, the London Plan maximum parking provision is 1:1 parking. The applicant has proposed to deliver the maximum number of parking spaces on site which is supported by officers, with some parking located to the front of properties and the rest within a parking area to the end of the access road. The M4(3) blue badge bays to the front of the houses requires some further design resolution to ensure that they meet standards but otherwise parking layouts are generally acceptable from a highways perspective. In addition, it is expected that a financial contribution would be sought per dwelling towards sustainable transport improvements in the area.

- 6.78 For the education facilities 31 parking spaces are proposed to the main entrance quad which would be a reduction in spaces (from 76 spaces) despite the education use expanding on the site. The applicant has indicated that these will be provided for staff and disabled parking only, with students expected to travel to the site by public transport. To support this, the College is proposing to run a mini-bus shuttle from the main public transport hubs to the site. The principle of this is considered acceptable, however details would need to be secured by s106 agreement. Further evidence is required to demonstrate how the parking demand from the increase in student and staff numbers would be managed to ensure that it would not result in significant overspill parking in the local area. Further details of the parking requirements for large scale non-educational uses, such as conferences, community uses, weddings, baptisms and church events is required to understand the highway implication of these uses. Officers consider that in addition to the mini-bus, funding should be secured towards consulting on and implementing a controlled parking zone in the roads surrounding the site. Two car club spaces are also proposed located along the entrance road to the site. These will help to mitigate any highway impacts from the development.

Access and delivery and servicing (and bins)

- 6.79 The regrading and changes to the access road need further clarification. However, the road access across the site is generally considered acceptable. However, the road has been narrowed in the latest iteration, which is positive in that it allows more movement in the building line and deeper gardens to the south eastern boundary. However, there are now concerns about access for refuse vehicles. The road would need to be a suitable width for bin collections and emergency services. For emergency vehicles, including fire appliances, the minimum road width should be 3.7m which the road has been narrowed too. The Council's waste management team prefer wider roads that allow vehicles to pass each other (which would require the wider road of 4.8m/5m). The waste management for the site would be individual kerb-side bins although officers have encouraged the applicant to consider communal bins to reduce vehicle movements. There are also two bin stores for the adjacent flats on South Norwood Hill which back onto the current car park and access and servicing of these would need to be retained as part of the scheme. Further discussions are required with the applicant and waste management team to ensure that the narrower road width would be suitable for collections.
- 6.80 The anticipated delivery and servicing needs of the College have not yet been provided but it is expected that the waste management for the College would be operated by a private contractor. Further details will need to be submitted with regards to other delivery and servicing needs and to ensure that suitable facilities can be provided, such as loading bays where necessary to ensure that parking spaces and soft landscaping is not fettered by lorries/vans parking where they should not and to ensure that vehicles can safely manoeuvre into and within the site.

Cycle parking

- 6.81 Cycle parking must be provided in accordance with London Plan requirements for both residential and education provision. Cycle parking is generally provided

to the front of properties which would together with the bins result in some clutter. Provision of shared cycle storage has been recommended by officers to allow more space for planting to the front of properties and to ensure that parking for wider/adaptive bicycles can be provided. The current iterations of the plans provides a small communal store for 6 wider / adaptive bicycles but it is not clear whether this space is fully accessible. Cycle storage needs to be sheltered, secure, accessible, and attractive to use and should be designed in line with the TfL Cycle Design Guide. Visitor cycle storage for the residential element will be required to London Plan standards.

Environmental Impact, Sustainability & Flooding

- 6.82 Policies SI 2, SI 3 and SI 4 of the London Plan require development to be net zero-carbon in accordance with the London Plan energy hierarchy with at least a 35% on-site reduction in carbon dioxide emissions beyond Building Regulation requirements with any remaining shortfall to be provided through a cash in lieu payment alongside considering whole life-cycle carbon emissions. Major development proposals should demonstrate through an energy strategy how they will reduce the potential for internal overheating and reliance on air conditioning systems in accordance with the cooling hierarchy. Policy SI 5 of the London Plan requires development through the use of planning conditions to minimise the use of mains water, achieving mains water consumption of 105 litres or less per head per day, and policy SI 7 of the London Plan requires development to promote circular economy outcomes and aim to be net zero-waste. Policy SP6 of the Croydon Local Plan requires development to make the fullest contribution to minimising carbon dioxide emissions, and requires new build non-residential development of 500sqm and above to achieve a minimum of BREEAM Excellent.
- 6.83 The applicant is aware of the above requirements and has indicated that a range of sustainability measures are being incorporated into the development including passive design measures, energy efficient energy and heating generation as well as the provision of Air Source Heat Pumps (ASHP) and Photovoltaic Panels (PVs). As part of any future planning application a suite a necessary documents covering and demonstrating compliance with the above policies will be required.

Flooding

- 6.84 Policies SI 12 and SI 13 of the London Plan state that development should ensure that flood risk is minimised and mitigated, with any residual risk being addressed, and should also aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible through following the London Plan drainage hierarchy. Policies SP6 and DM25 of the Croydon Local Plan require development to be accompanied by a site specific Flood Risk Assessment, to utilise sustainable drainage systems to reduce surface water run-off and provide water treatment on site, and where relevant account for possible groundwater contamination in Source Protection Zones 1 and 2.
- 6.85 The site is located in Flood Zone 1 meaning that it is at a very low risk of flooding from rivers and the sea, and has very low surface water flood risk. Overall the

risks across the site as a whole are relatively low. It is expected that the proposed development will incorporate suitable Sustainable Drainage Systems (SUDs) and as part of any future application a detailed Flood Risk Assessment and Sustainable Drainage Strategy will be expected to be submitted and will be reviewed by the Lead Local Flood Authority (LLFA).

- 6.86 The rear of the site is located within a Source Protection Zone 2 (SPZ). The Environment Agency has defined SPZs, for groundwater sources such as wells, boreholes and springs used for public drinking water supply. These zones show the risk of contamination from any activities that might cause pollution in the area. The closer the activity, the greater the risk. The majority of development appears to be located outside of the source protection area but the applicant has been advised to consider the risk of possible groundwater contamination from the construction period and expanded use. Details of this are expected to be submitted and reviewed by the Environment Agency.

S106 Obligations

- 6.87 At this stage it is envisaged that planning obligations will be required to mitigate the impacts. Discussions have not yet taken place in relation to the heads of terms, but it is anticipated that these would include the following:

- Affordable housing (on site and including early and late stage reviews) – subject to the above.
- Agree a linked phasing to ensure that the residential development cannot be occupied without delivery of the education facilities
- Employment (end user) and Construction training (contributions and obligations)
- Air Quality improvements and contributions
- Zero carbon off-set contribution
- On site car club provision and membership
- Travel Plan
- Sustainable transport contributions
- Mini-bus transportation from transport hub for students to be secured
- Financial contribution towards implementation of a CPZ in the surrounding roads
- Tree specifications and planting plan (including costing)
- Biodiversity net gain (at least 10%)
- Access arrangements for residents to be agreed
- Public access and use programme to be secured

7 SPECIFIC FEEDBACK REQUESTED

- 7.1 In view of the above, it is suggested that members focus on the following issues:
1. Whether the quantum of development is appropriate particularly in the context of loss of trees and impact upon remaining high quality trees, the impact of the massing on the locally listed building and residential quality of accommodation and neighbours.

2. The approach to significant expansion of the education facilities and impacts of this on the viability and provision of affordable housing
3. Biodiversity Net Gain: Provision of off-site (possible out of borough) contribution to biodiversity net gain and loss of 79 trees
4. Design approach and elevation treatment, including materiality and public realm, particularly for the education buildings and the entrance arrival and experience of both students and residents on the site
5. Relationship between the residential and education facilities and access arrangements for residents across the site.
6. Transport arrangements, whether the approach to education parking, provision of mini-bus and other transport improvements is suitable for this location

PLANNING COMMITTEE AGENDA

PART 6: Planning Applications for Decision

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning applications for determination by the Planning Committee.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 Any item that is on the agenda because it has been referred by a Ward Member, GLA Member, MP or Resident Association and none of the person(s)/organisation(s) or their representative(s) have registered their attendance at the Town Hall in accordance with the Council's Constitution (paragraph 3.8 of Part 4K – Planning and Planning Sub-Committee Procedure Rules) the item will be reverted to the Director of Planning and Strategic Transport to deal with under delegated powers and not be considered by the committee.
- 1.4 The following information and advice applies to all reports in this part of the agenda.

2 MATERIAL PLANNING CONSIDERATIONS

- 2.1 The Committee is required to consider planning applications against the development plan and other material planning considerations.
- 2.2 The development plan is:
 - the London Plan (2021)
 - the Croydon Local Plan (2018)
 - the South London Waste Plan (2022)
- 2.3 Decisions must be taken in accordance with section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004. Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the Development Plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the number of third party representations received, remains the extent to which planning proposals comply with the Development Plan.
- 2.4 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects listed buildings or their settings, the local planning authority must have special regard to the desirability of preserving the building or its setting or any features of architectural or historic interest it possesses.

- 2.5 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects a conservation area, the local planning authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 2.6 Under Section 197 of the Town and Country Planning Act 1990, in considering whether to grant planning permission for any development, the local planning authority must ensure, whenever it is appropriate, that adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.
- 2.7 In accordance with Article 31 of the Development Management Procedure Order 2010, Members are invited to agree the recommendations set out in the reports, which have been made on the basis of the analysis of the scheme set out in each report. This analysis has been undertaken on the balance of the policies and any other material considerations set out in the individual reports.
- 2.8 Members are reminded that other areas of legislation covers many aspects of the development process and therefore do not need to be considered as part of determining a planning application. The most common examples are:
- **Building Regulations** deal with structural integrity of buildings, the physical performance of buildings in terms of their consumption of energy, means of escape in case of fire, access to buildings by the Fire Brigade to fight fires etc.
 - Works within the highway are controlled by **Highways Legislation**.
 - **Environmental Health** covers a range of issues including public nuisance, food safety, licensing, pollution control etc.
 - Works on or close to the boundary are covered by the **Party Wall Act**.
 - **Covenants and private rights** over land are enforced separately from planning and should not be taken into account.

3 **ROLE OF THE COMMITTEE MEMBERS**

- 3.1 The role of Members of the Planning Committee is to make planning decisions on applications presented to the Committee openly, impartially, with sound judgement and for sound planning reasons. In doing so Members should have familiarised themselves with Part 5D of the Council's Constitution 'The Planning Code of Good Practice'. Members should also seek to attend relevant training and briefing sessions organised from time to time for Members.
- 3.2 Members are to exercise their responsibilities with regard to the interests of the London Borough of Croydon as a whole rather than with regard to their particular Ward's interest and issues.

4. **THE ROLE OF THE CHAIR**

- 4.1 The Chair of the Planning Committee is responsible for the good and orderly running of Planning Committee meetings. The Chair aims to ensure, with the assistance of officers where necessary, that the meeting is run in accordance with the provisions set out in the Council's Constitution and particularly Part 4K of the Constitution 'Planning and Planning Sub-Committee Procedure Rules'. The Chair's most visible responsibility is to ensure that the business of the meeting is conducted effectively and efficiently.
- 4.2 The Chair has discretion in the interests of natural justice to vary the public speaking rules where there is good reason to do so and such reasons will be minuted.

- 4.3 The Chair is also charged with ensuring that the general rules of debate are adhered to (e.g. Members should not speak over each other) and that the debate remains centred on relevant planning considerations.
- 4.4 Notwithstanding the fact that the Chair of the Committee has the above responsibilities, it should be noted that the Chair is a full member of the Committee who is able to take part in debates and vote on items in the same way as any other Member of the Committee. This includes the ability to propose or second motions. It also means that the Chair is entitled to express their views in relation to the applications before the Committee in the same way that other Members of the Committee are so entitled and subject to the same rules set out in the Council's constitution and particularly Planning Code of Good Practice.

5. PROVISION OF INFRASTRUCTURE

- 5.1 In accordance with Policy 8.3 of the London Plan (2011) the Mayor of London has introduced a London wide Community Infrastructure Levy (CIL) to fund Crossrail. Similarly, Croydon CIL is now payable. These would be paid on the commencement of the development. Croydon CIL provides an income stream to the Council to fund the provision of the following types of infrastructure:
- i. Education facilities
 - ii. Health care facilities
 - iii. Projects listed in the Connected Croydon Delivery Programme
 - iv. Public open space
 - v. Public sports and leisure
 - vi. Community facilities
- 5.2 Other forms of necessary infrastructure (as defined in the CIL Regulations) and any mitigation of the development that is necessary will be secured through A S106 agreement. Where these are necessary, it will be explained and specified in the agenda reports.

6. FURTHER INFORMATION

- 6.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

7. PUBLIC SPEAKING

- 7.1 The Council's constitution allows for public speaking on these items in accordance with the rules set out in the constitution and the Chair's discretion.

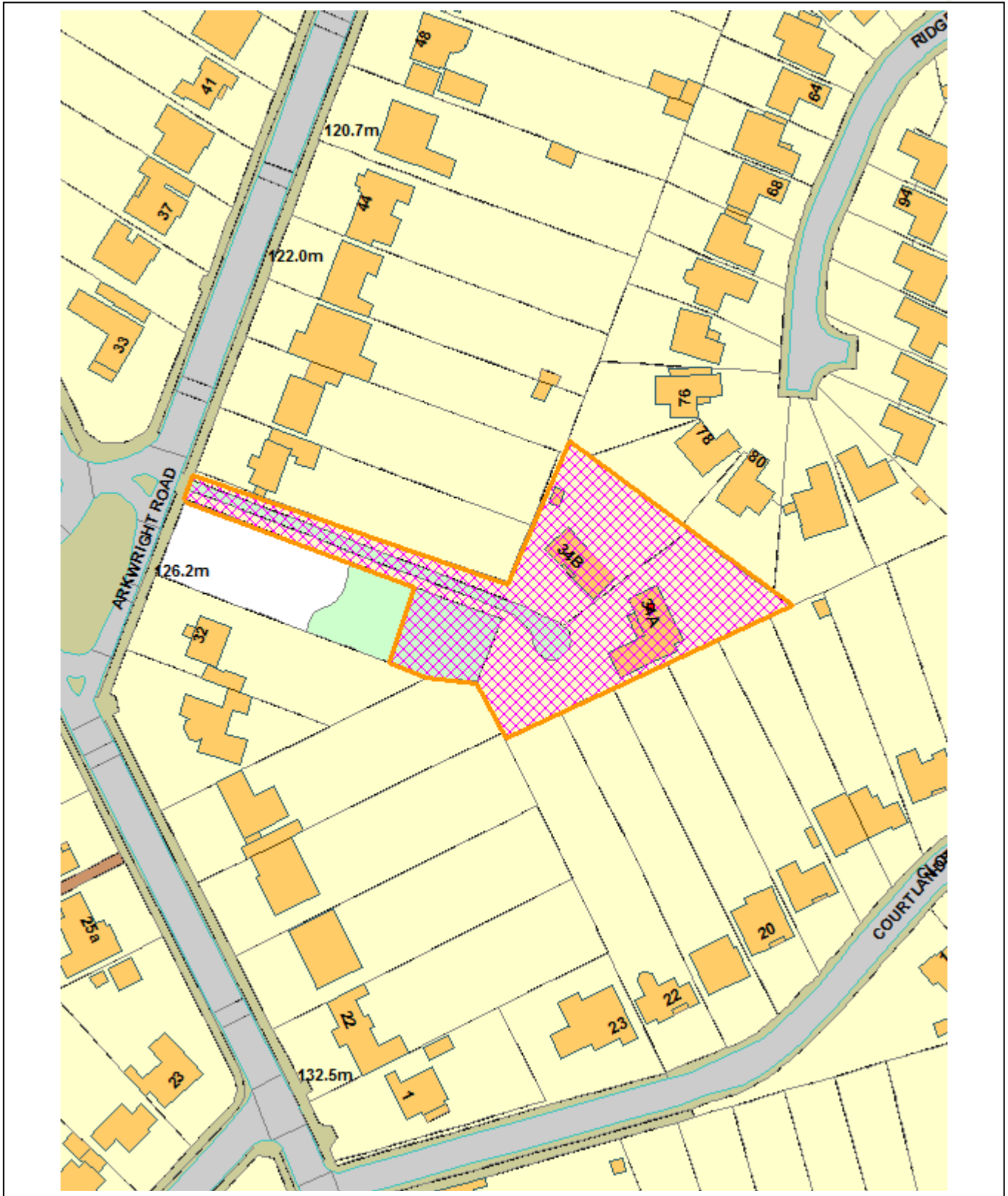
8. BACKGROUND DOCUMENTS

- 8.1 The background papers used in the drafting of the reports in part 6 are generally the planning application file containing the application documents and correspondence associated with the application. Contact Mr P Mills (020 8760 5419) for further information. The submitted planning application documents (but not representations and consultation responses) can be viewed online from the Public Access Planning Register on the Council website at <http://publicaccess.croydon.gov.uk/online-applications>. Click on the link or copy it into an internet browser and go to the page, then enter the planning application number in the search box to access the application.

9. RECOMMENDATION

- 9.1 The Committee to take any decisions recommended in the attached reports.

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1 APPLICATION DETAILS

Ref: 23/03465/FUL
 Location: 34A, 34B And Rear Of 34 Arkwright Road, CR2 0LL
 Ward: Sanderstead
 Description: Demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 6 dwellinghouses 3 storeys in height together with associated parking, access and landscaping

Drawing Nos:

Plans

ADL-23-686 PL 34; ADL-23-686 PL 29; ADL-23-686 PL 07; ADL-23-686 PL 08; ADL-23-686 PL 35; pl 20-540- 01 Rev B; ADL-23-686 PL 01; 19-809-TPP-E; ADL-23-686 PL 30; ADL-23-686-PL-10-revA; ADL-23-686-PL-27-revA; ADL-23-686-PL-26-revA; ADL-23-686-PL-25-revA; ADL-23-686-PL-24-revB; ADL-23-686-PL-23-revB; ADL-23-686-PL-22-revB; ADL-23-686-PL-21-revA; ADL-23-686-PL-20-revA; ADL-23-686-PL-19-revA; ADL-23-686-PL-18-revA; ADL-23-686-PL-17-revA; ADL-23-686-PL-16-revA; ADL-23-686-PL-15-revA; ADL-23-686-PL-14-revA; ADL-23-686-PL-13-revA; ADL-23-686-PL-12-revA; ADL-23-686-PL-11-revA; Key Plan; ADL-23-686-PL-36-revA; ADL-23-686-PL-33-revA; Proposed Fire Strategy Rev A; ADL-23-686-PL-32-revA; ADL-23-686-PL-31-revA; ADL-23-686-PL-28-revA; ADL-23-686-PL-22-revA; ADL-23-686-PL-09; ADL-23-686-PL-03-revA; ADL-23-686-PL-02-revA; 1809018-TK24; 1809018-TK23; 1809018-TK22; 1809018-06; AKJH.22-015-1 Rev C.

Documents

Updated Ecological Impact Assessment letter (Darwin Ecology, August 2022); Badger Walkover Survey & Monitoring (Greenspace Ecological Solutions 13 Jan 2021); Biodiversity Net Gain Report (LC Ecological Services September 2023); Design and Access Statement (addo September 2023); Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment (arbeco 29 July 2019); Arboricultural Impact Assessment and Method Statement Ref F (Canopy Consultancy September 2023); Energy Statement (Bry Energy August 2023); Planning Statement (McConnell Planning August 2023); Surface Water Drainage Technical Note (Mayer Brown 4 September 2023) and Highways technical note (5 September 2023).

Applicant: Mr Martyn Avery

Case Officer: Mr Hoa Vong

Housing Mix						
	1 bed (2 person)	2 bed (3 person)	2 bed (4 person)	3 bed (5 person)	4 bed (7 person)	TOTAL
Existing	0	0	0	2	0	2
Proposed (market housing)	0	0	0	0	6	6
TOTAL	0	0	0	0	6	6

Vehicle and Cycle Parking (London Plan Standards)	
PTAL: 1a	
Car Parking maximum standard	Proposed
1.5*	12
Long Stay Cycle Storage minimum	Proposed
12	12
Short Stay Cycle Storage minimum	Proposed
2	2

1.1 This application is being reported to committee because:

- Councillor Helen Redfern made representations in accordance with the Committee Consideration Criteria and requested committee consideration
- Objections above the threshold in the Committee Consideration Criteria have been received

2 RECOMMENDATION

2.1 That the Committee resolve to GRANT planning permission

2.2 That the Director of Planning Sustainable Regeneration is delegated authority to issue the planning permission subject to:

A. The prior completion of a legal agreement to secure the following planning obligations:

1. Sustainable transport contribution of £9,000
2. S.278 and S.38 agreement to secure highways works
3. Monitoring fee
4. Payment of the Council's reasonable legal costs
5. Any other planning obligation(s) considered necessary by the Director of Planning and Sustainable Regeneration

2.3 That the Director of Planning and Sustainable Regeneration is delegated authority to negotiate the legal agreement indicated above.

- 2.4 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

1. Commencement time limit of 3 years
2. Development to be carried out in accordance with the approved drawings and Reports

Pre-commencement

3. Submission of Construction Logistics Plan
4. Construction Environmental Management Plan for Biodiversity
5. Land contamination assessment

Prior to above ground works

6. Submission of materials and design details
7. Landscaping in accordance with plans including specification of mature trees to be planted on the rear boundary, details of retaining wall;
8. Pre-occupation Wildlife sensitive lighting design scheme
9. M4(2) and/or M4(3) drawings to be submitted and approved.

Prior to Occupation

10. Cycle storage details
11. Details of pedestrian pathway delineation

Compliance

12. Obscure glazing on flank windows above ground floor level
13. Compliance with SUDS details
14. Compliance with bin storage details
15. Compliance with Delivery and Servicing Details
16. Compliance with Arboricultural Assessment and Tree Protection Plan
17. Compliance with Ecological Appraisal recommendations
18. Compliance Fire Statement
19. Development in accordance with accessible homes requirements M4(3) and M4(2)
20. Implementation of car parking as shown on plans with no boundary treatments above 0.6m in the sightlines
21. Energy
22. Water use target of 110l/p/d
23. Removal of permitted development
24. Noise from mechanical equipment to not exceed background noise
25. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Regeneration

INFORMATIVES

1. Granted subject to a Section 106 Agreement
2. Community Infrastructure Levy
4. Code of practice for Construction Sites

5. Highways informative in relation to s278 and s38 works required
6. Compliance with Building/Fire Regulations
7. Construction Logistics Informative
8. Refuse and cycle storage Informative
9. Inclusion of ultra-low NOx boilers
10. Any other informative(s) considered necessary by the Director of Planning and Strategic Regeneration

2.5 That the Committee confirms that adequate provision has been made, by the imposition of conditions, for the preservation or planting of trees as required by Section 197 of the Town and Country Planning Act 1990.

2.6 That, if by 3 months the legal agreement has not been completed, the Director of Planning and Sustainable Regeneration is delegated authority to refuse planning permission.

3 PROPOSAL AND LOCATION DETAILS

Proposal

3.1 Full planning permission is sought for the demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 6 dwellinghouses 3 storeys in height together with associated parking, access and landscaping. 12 car parking spaces are proposed along with cycle parking spaces, private amenity space, play space and hard and soft landscaping. The existing access road leading to the backland site would be upgraded.



Figure 1 Proposed courtyard view

Site and Surroundings

3.2 The application site is a backland site to the south of Rectory Park. The site comprises 2 dwellings (34A and 34B Arkwright road) and part of the rear garden of 34 Arkwright Road (which hosts a flatted block of 7 units). The land to the rear of 34 Arkwright Road is separated from the amenity space of number 34 by a fence and is currently unused. The existing properties on the site are 2 storey brick/render buildings with attached garages. The site is accessed via a vehicular driveway from Arkwright Road.

- 3.3 The surrounding area is suburban in character, comprising detached dwellings and flatted blocks. There are some trees on the site boundaries, none of which are protected by TPOs. The site has a Public Transport Accessibility Level (PTAL) of 1a.



Figure 2 Aerial Site Plan

Planning Designations and Constraints

- 3.4 The site is subject to the following formal planning constraints and designations:

- PTAL: 1a
- Flood Risk Zone: 1

Planning History

- 3.5 The following planning decisions are relevant to the application:

Planning Application history at 34A, 34B and 34 Arkwright Road.

- 3.6 19/03643/OUT: Demolition of existing dwellings. Erection of a three/four storey building comprising 23 flats (6 x 1 bedroom, 14 x 2 bedroom and 3 x 3 bedroom units). Alterations to existing vehicular access/road and creation of parking area, amenity space, cycle and refuse storage. Application withdrawn 06.11.2019
- 3.7 21/01208/FUL: Demolition of 2 dwellings and erection of a 3/4 storey building comprising 19 flats with associated car parking, cycle and refuse storage and landscaping. Alterations to existing vehicular access/road. Permission refused 09.05.2022 following consideration by Planning Committee 28.04.2022. Appeal dismissed 03.11.2022 for the following reasons:

1. Harmful effect on the character and appearance of the area

2. Housing mix proposed would conflict with the minimum requirements of the development plan
 3. Potential that the proposal would also be detrimental to the privacy of neighbouring occupiers.
- 3.8 22/04130/FUL- Demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 9 dwellinghouses 3 storeys in height together with associated parking, access and landscaping. REFUSED 01.06.2023 following consideration on 18 May 2023 at Planning Committee for the following reasons-

1. The proposed development by reason of the layout/development pattern, height, scale and massing, including the roof form, would represent an overdevelopment of the site, which would fail to enhance the character of the local area and would not respect the local development pattern or character, contrary to DM10, DM13 and SP4 of the Croydon Local Plan (2018) and D3 and D4 of the London Plan (2021).
2. The proposed development due to the position of units 1-7 on higher ground levels would adversely impact upon the amenity of adjoining properties at Ridge Langley resulting in unacceptable levels of overlooking and loss of privacy contrary to DM10 of the Croydon Local Plan (2018) and D3 of the London Plan (2021).
3. In the absence of a legal agreement to secure financial contributions toward sustainable transport, carbon offsetting, air quality and highways works to Arkwright Road to provide appropriate access, the development is contrary to policies SP6, SP8, DM23, DM29, and DM30 of the Croydon Local Plan (2018) and policies D3, SI 1, SI 2, T1, T2, T4, T6.1 of the London Plan (2021).

Pre-application history on the site:

- 3.9 20/00149/PRE: Proposed demolition of existing houses. Erection of block comprising 21 flats with associated access, parking, landscaping

34 Arkwright Road

The site history at 34 Arkwright Road is set out below. The rear part of the amenity space of number 34 forms part of the application site. The development itself at number 34 is separate.

- 3.10 18/00749/FUL: Demolition of existing building: erection of a two-storey building with accommodation in roof space comprising 6 two bedroom and 1 three-bedroom flats: formation of associated access and provision of 7 parking spaces, cycle storage and refuse store. – permission granted 28.09.2018
- 3.11 19/04165/CONR: Section 73 application seeking to vary conditions 1 (Approved drawings), 3 (Refuse/Cycles/Boundary/Floor levels etc -(Refuse storage and Cycle storage only), 7 (CO2 Emissions) and 12 (Provision of M4(2) and M4(3) units) attached to 18/00749/FUL For the demolition of existing building: erection of a two storey building with accommodation in roof space comprising 6 two bedroom and 1 three

bedroom flats: formation of associated access and provision of 7 parking spaces, cycle storage and refuse store. – permission granted 18.05.2020

4 SUMMARY OF KEY REASONS FOR RECOMMENDATION

4.1 The following sections of this report summarise the officer assessment and the reason for the recommendation.

- The principle of the intensified residential development is acceptable given the residential character of the surrounding area 6 single family dwellinghouses would be in keeping with the surrounding character
- The proposal is for 6x 4 bedroom dwellings and would provide a high standard of accommodation
- The design and appearance of the development draws from the surrounding character, design and materiality and would be a positive contribution to the area
- A high quality landscaping scheme is proposed with in enhancement in biodiversity and tree planting
- The proposed development has been carefully designed and further amended in order to mitigate any unacceptable impact on neighbouring amenity
- The access arrangements have been scrutinised and would not have an unacceptable impact on highway safety.
- 12 car parking spaces would be provided on site, which would exceed the maximum parking standard but would avoid a significant impact on parking stress.
- Suitable planning obligations and conditions have been recommended.

5 CONSULTATION RESPONSE

5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

Pollution Control

5.2 No objection subject to securing the following via informatives and conditions-

- The noise level from air handling units, mechanical plant, or other fixed external machinery should not increase the background noise level when measured at the nearest sensitive residential premises
- The 'good' standard for acoustic design criteria under the British Standards Institute BS8233:2014 must be achieved in living rooms and bedrooms
- Adherence to the requirements of Croydon Council's Interim Policy Guidance on Air Quality
- Observe the Council's Code of Practice regarding 'Control of Pollution and Noise from Demolition and Construction Sites'
- Submission of a Construction Environmental Management Plan (to include control of noise and dust from construction and demolition activities) and a construction logistics plan (CLP)

- Submission of a Delivery and Servicing Plan (after review this is no longer required and the submitted details as part of the Highways technical note are considered to be acceptable.)
- Light from the proposed illuminations should not cause a nuisance to local residents
- Inclusion of ultra-low NOx boilers

Tree officers

5.3 No objection subject to securing tree protection measures and tree plan

Highways and Transport Planning

5.4 Objections were initially raised due to the need for additional information/justification to be provided. This has now been provided and no objection is raised subject to the recommended conditions.

-

Ecology

5.5 No objections subject to securing mitigation and enhancement measures as detailed in the ecology statement.

6 LOCAL REPRESENTATION

Consultation

6.1 The application has been publicised by way of a site notice displayed in the vicinity of the application site. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

Objecting: 40 Supporting: 1

6.2 The following local groups/societies made representations which are summarised below:

Sanderstead Residents Association (Support)

- Sanderstead Residents' Association support this latest application for 6 houses which is not an overdevelopment of the underutilised plot and respects the character of the surrounding area. There is also sufficient parking for each residence. We recognise that more family homes are needed in our area and feel that this application is worthy of our support.
- SRA feel this latest proposal is a significant improvement to previous applications for this site, where we had concerns and had objected in terms of the density and massing.

6.3 The following MP made representation which is summarised below:

Councillor Helen Redfern [objecting]

- Overdevelopment on the grounds of height, layout, scale and massing
- Overlooking
- Trees and hedges could be removed/ do not exist
- Small gaps between dwellings increases massing
- Height exacerbated by land levels
- Insufficient access for lorries refuse and fire service. Roundabout could potentially be blocked
- Highways have formerly objected
- Appeal Inspector's previous decision was refusal (*Officers note that different schemes were previously refused, and no similar proposals for a small number of detached houses has been refused on the site*).

6.4 The following issues were raised in representations that are material to the determination of the application, and they are addressed in substance in the next section of this report:

Objection	Officer comment
Character and design	
Overdevelopment Not in keeping with area Dominating position on hillside/ elevated site Harmful to suburban character Bulk and mass not in keeping Footprint and layout not in keeping Excessive hardstanding	The proposed 2-3 storey height with the 3 rd storey contained in the roofspace is in keeping with the height and massing of the surrounding dwellings. A design led approach has been taken which reflects the character, layout, footprint and suburban character of the area Matters related to design are assessed fully in the below report
Neighbouring amenity	
Overlooking Noise Loss of light Bike and bin storage location not safe Trees can be pruned impacting amenity Overbearing	The proposed development would not have a negative impact on neighbouring amenity and measures have been taken to mitigate any negative impacts. Bike and bin stores do not propose a safety risk Matters related to residential amenity are assessed fully in the below report
Quality of accommodation	
Dwellings not M4(2) Wheelchair compliant	Full details to show compliance with Part M Accessible and Adaptable dwellings would be secured by condition. The houses are large enough to achieve this requirement, and the details are for Building Control.
Transport and Highways impacts	
Damage during construction to roads and drainage Impact of parking on local roads No disabled parking	Access arrangements have been agreed with highways officers including works to the roundabout/ island on Arkwright Road and access leading to the site to ensure safety

<p>Harm to pedestrian and other road users Lack of manoeuvring space for vehicles Not enough parking Not enough information related to highways works and servicing Increased traffic</p>	<p>There is sufficient parking and manoeuvring on site in line with policy requirements which would prevent significant impact on local parking</p> <p>A Construction Logistics Plan would be secured by condition to minimise construction impacts to highways and residential amenity</p> <p>Matters related to highways, parking and construction are assessed fully in the below report</p>
<p>Tress and ecology</p>	
<p>Destroys habitats Negative impact on wildlife (bats and badgers) Negative impact on environment Impact on trees Loss of green space Loss of 'Environmental Area' land</p>	<p>All species on site would be protected and measures taken to mitigate any negative impacts. There would also be an increase in tree planting. Overall there would be a net biodiversity gain.</p> <p>The site does not have any environmental designations and is not 'Environmental Area' land</p> <p>Matters related to Trees and ecology are assessed fully in the below report</p>
<p>Sustainability</p>	
<p>Pressure on environmental sustainability Negative impact on environment Risk of flooding Solar panels not shown on plans Pollution impacts</p>	<p>The proposal would achieve a 57% reduction in C02 emissions which exceeds the 19% minimum requirement. Full details of sustainable measures would be secured by condition.</p> <p>Appropriate measures have also been taken to mitigate flooding</p> <p>Matters related to Sustainability, pollution and flooding are assessed fully in the below report</p>
<p>Other</p>	
<p>Issues from Inspectors report have not been addressed fully Impact on infrastructure Plans do not accurately show separation distances</p>	<p>The scheme as discussed in the below report has been assessed in accordance with the development plan and all relevant guidance and polices. The proposed development is materially different from the previously appealed schemes. The plans meet planning requirements</p> <p>A scheme of this size would also not have a significant impact on</p>

	infrastructure and would add to the housing stock.
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7 RELEVANT PLANNING POLICIES AND GUIDANCE

Development Plan

7.1 The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2022). Although not an exhaustive list, the policies which are most relevant to the application are:

London Plan (2021)

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D12 Fire Safety
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI1 Improving air quality
- SI2 Minimising greenhouse gas emissions
- SI3 Energy infrastructure
- SI12 Flood risk management
- SI13 Sustainable drainage
- T4 Assessing and mitigating transport impacts
- T5 cycling
- T6 car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction

Croydon Local Plan (2018)

- SP2 Homes
- DM1 Housing choice for sustainable communities
- SP4 Urban Design and Local Character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and Climate Change
- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Protecting and Enhancing our Biodiversity
- DM28 Trees

- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development

7.2 The Development Plan should be read as a whole, and where policies conflict with each other, the conflict must be resolved in favour of the policy contained in the last document to be adopted, approved or published as part of the development plan, (in accordance with s38(5) of the Planning and Compulsory Purchase Act 2004).

Planning Guidance

National Planning Policy Framework (NPPF)

7.3 Government Guidance is contained in the NPPF, updated on 20 December 2023, and accompanied by the online Planning Practice Guidance (PPG). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Delivering a Sufficient Supply of Homes
- Promoting Sustainable Transport
- Achieving Well Designed Places

SPDs and SPGs

7.4 There are also several Supplementary Planning Documents (SPD) and Supplementary Planning Guidance (SPG) documents which are material considerations. Although not an exhaustive list, the most relevant to the application are:

- Section 106 Planning Obligations in Croydon and their relationship to the
- Community Infrastructure Levy (2019)
- London Housing SPG (Mayor of London, 2016)
- Accessible London: Achieving an Inclusive Environment SPG (Mayor of London, 2014)
- Play and Informal Recreation SPG (Mayor of London, 2012)
- Character and Context SPG (Mayor of London, 2014)
- Sustainable Design and Construction SPG (Mayor of London, 2014)

8 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues raised by the application that the committee must consider are:

1. Principle of development
2. Design and impact on character of the area
3. Quality of residential accommodation
4. Impact on neighbouring residential amenity
5. Trees, landscaping and biodiversity
6. Access, parking and highway impacts
7. Flood risk and energy efficiency
8. Other Planning Issues
9. Conclusions

Principle of development

- 8.2 The Croydon Local Plan sets out a housing target of 32,890 homes over a 20-year period from 2016-2036 (1,645 homes per year). The London Plan requires 20,790 of those homes to be delivered within a shorter 10 year period (2019-2029), resulting in a higher annual target of 2,079 homes per year.
- 8.3 The Croydon Local Plan also sets out a target for development on Windfall sites of 10,060 homes (approximately 503 per year). The London Plan requires 6,410 net completions on small sites (below 0.25 hectares in size) over 10 years, with a small-sites housing target of 641 per year.
- 8.4 The strategy for delivering these homes is set out in Croydon Local Plan 2018 Policy SP2.2 of the Croydon Local Plan (CLP) (2018), which separates this target into three sub targets with 10,760 new homes to be delivered within the Croydon Opportunity Area, 6,970 new homes on specific site allocations, and 10,060 homes delivered across the Borough on “windfall” sites which include the application site. London Plan 2021 Policy H2 (Small Sites) advises that small sites (below 0.25 hectares in size) must make a substantially greater contribution to new supply across the city. Croydon’s annual target for homes on small sites is 641 homes a year (31% of the annual target). Therefore, increasing the rate of housing delivery from small sites is a strategic priority.
- 8.5 The site forms an existing backland development behind numbers 34-38 Arkwright Road. The existing buildings on the site are 2 x 2 storey detached houses and there is no in principle objection to their demolition (subject to adequate replacement), the principle of a backland cul-de-sac style development on this site is therefore also already established.
- 8.6 The proposed intensification would represent a more efficient use of this space and would support the principles of national and local planning policy which seek to achieve efficient use of land. There is a clear and established access road to the site, and the backland plot is sufficiently large at 0.3ha to support intensified residential use and to achieve a reasonable ratio of built form to open space across the site.
- 8.7 The existing use of the site is residential and as such the principle of redeveloping the site for residential purposes is acceptable subject to achieving a high quality development and other provisions of the development plan as assessed in this report.

Design and impact on character of the area

- 8.8 Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon’s varied local character and contributes positively to public realm, landscape and townscape. London Plan policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness.
- 8.9 The surrounding area is a mix of detached houses of varying height, including bungalows with dormers, and two-storey houses under substantial pitched roofs, many of which have extended into the roofspace. There is also an example of a three storey flatted development at 34 Arkwright Road which has recently been completed.

8.10 The proposed development consists of 6x 3 storey dwellings (with the third storey contained in the roofspace) arranged as 6 detached dwellings.



Figure 3 Proposed Site Layout

8.11 The proposed dwellings are located around a central courtyard, on spacious plots with large rear gardens, parking to the front and dwellings accessed from the street via small front gardens. There is an existing access road measuring 3.7m to 4m in width and which would serve as a shared path between pedestrians and vehicles entering the site.

8.12 The proposed layout reflects the spacious character of the area and utilises the backland site in a similar fashion to the established cul-de sacs in the vicinity at Ridge Langley and Courtlands Close, which the site backs onto.

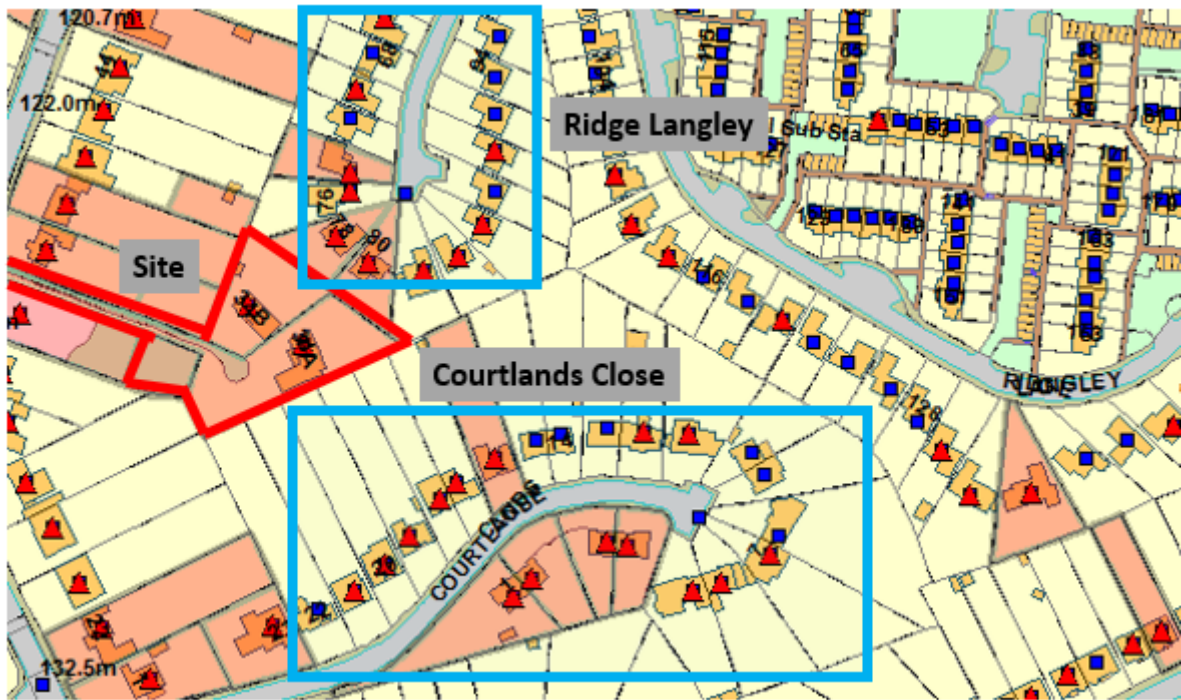


Figure 4 Wider urban grain

- 8.13 The proposed layout also picks up on other key elements of the surrounding typology and this can be seen in the proposed unit mix which provides family homes in the form of single family dwelling houses rather than apartments, regular gaps in between dwellings, large rear gardens and dwellings accessed from the street via small gardens and parking to the front.
- 8.14 Whilst objections have been raised with regards to the proposed layout which does not exactly replicate the semi-detached rows located on Arkwright Road, it can be seen that the character of the area is more varied than this and consists of combination of post-war housing extended and refurbished in various ways together with new build development which has over time contributed to a streetscene which is constantly changing.



Figure 5 Proposed View Plots 1-4



Figure 6 Proposed View Plots 5-6

8.15 Members refused the application at committee on 18/05/2023 on design grounds for the following reason.

“The proposed development by reason of the layout/development pattern, height, scale and massing, including the roof form, would represent an overdevelopment of the site, which would fail to enhance the character of the local area and would not respect the local development pattern or character, contrary to DM10, DM13 and SP4 of the Croydon Local Plan (2018) and D3 and D4 of the London Plan (2021).”

8.16 The applicant has undertaken detailed contextual analysis of the surrounding area and has since revised the design to incorporate pitched roofs, front gables and detached dwellings only and as a direct reference to surrounding dwellings to properties on Arkwright Road, Ridge Langley and Courtlands Close.

24 Arkwright Road



63 Arkwright Road



12 Arkwright Road

Figure 7 Surrounding properties

8.17 In terms of height and massing, three storeys is proposed across the site with the third storey contained in the roof space. This would follow DM Policy 10.1 which states that proposals should seek to achieve a minimum height of 3 storeys, should respect the development pattern, layout and siting; the scale, height, massing, and density; and the appearance, existing materials and built and natural features of the surrounding area.



Figure 8 Proposed view from access

8.18 It should also be noted that whilst a third storey is proposed, the dwellings are read as predominantly two storey traditional single-family houses, with a converted roofspace and as can be seen in the below figure the proposed dwellings would be taller than the existing but would take a similar format of “two storeys under a pitched roof”.



Figure 9 Comparison of elevations of existing dwellings at No. 34a and proposed dwellings

8.19 Furthermore this also results in buildings of a height, massing and layout comparable to the existing dwellings on Arkwright Road, Ridge Langley and Courtlands Close and would ensure that the character of the streetscene would be maintained.

8.20 The Council has previously refused larger developments on this site, and officers have successfully defended the Council’s position at appeal. That being the case, a larger development may not be appropriate and a condition is justified removing permitted development rights in order to allow any future proposed extensions to be determined through a planning application with consideration against the development plan policies.

8.21 In terms of the architecture and materials, a traditional design is proposed that incorporates features such as pitched roofs, hanging tiles, render, brickwork and timber Tudor boarding. This has been influenced by the character analysis and design led approach and references the substantial pitched roofs which slope back from the main

elevations, darker material to the lower floors and light or red brick and render elevations.

8.22 Final details will be secured by condition, however officers are satisfied that the proposed materials would be high quality and contextually appropriate.

8.23 The applicant has demonstrated that a design led approach has been taken which respects the character of the area and which is considered to be of a high quality and of an appropriate scale and mass for this location. This can be seen in the proposed materials which match those in the area, how the roofspace has been utilised to create a third storey and incorporation of single family dwelling houses.

8.24 The proposal would therefore comply with policies SP4.1 and DM10 and London Plan policy D3 as it is of an appropriate form and mass for this site and a suitably high design quality which responds appropriately to its context.

Quality of residential accommodation

8.25 Policy D6 of the London Plan 2021 outlines housing development should be of a high-quality design and provide adequate-sized bedrooms and residential units, as well as sufficient floor to ceiling heights and light.

8.26 CLP policy SP2.8 requires residential development to comply with the minimum standards set out in the Mayor of London’s Housing Supplementary Planning Guidance and National Technical Standards (2015). Furthermore, proposals should meet minimum design and amenity standards set out in the CLP and other relevant London Plan and National Technical Standards (2015) or equivalent.

8.27 CLP policy DM10.4 requires proposals for new residential development to provide a minimum amount of private amenity space of 5m² per 1–2-person unit and an extra 1m² per extra occupant thereafter.

8.28 Policy D5 of the London Plan outlines development should be convenient and welcoming with no disabling barriers and policy D7 requires at least 10 per cent of dwellings to meet Building Regulation requirement M4(3) ‘wheelchair user dwellings’.

Home	Size (bedroom/person)	GIA (sqm) proposed	Min. GIA (sqm)	Amenity Space (sqm)	Min. Amenity Space (sqm)
1	4b/7p	156	121	49	9
2	4b/7p	161	121	55	9
3	4b/7p	161	121	76	9
4	4b/7p	156	121	64	9
5	4b/7p	161	121	38	9
6	4b/7p	156	121	38	9

Table 1: scheme considered against London Plan Policy D6 and Table 3.1

8.29 All dwellings would meet or exceed external and internal space standards and would be dual aspect. The standard of accommodation would be high quality and would far exceed minimum space standards.

8.30 1 dwelling (plot 5) has been shown to be possibly built to M4(3) accessible standards with the remaining dwellings would be built to M4(2) standard. The internal

arrangements would not comply with the detailed provisions of the guidance which sits alongside the building regulations, but the provision of an M4(3) home in this location would exceed the minimum policy requirement and officers are of the opinion that the house is large enough to accommodate the relevant adaptations to facilitate an M4(3) home. Similarly, the M4(2) homes are shown with substantial internal space and whilst larger ground floor WC/Shower rooms are needed to comply with the relevant guidance (although not necessarily part M4(2) itself), it is clear from the submitted plans that there is sufficient internal space to accommodate this. The plans have been checked with the Council's building control inspector and details such as kitchen worktop lengths and circulation spaces are generally in accordance with the relevant guidance for the bed spaces shown on the plans. This is acceptable details would be secured by condition.

Impact on neighbouring residential amenity

- 8.31 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels.
- 8.32 A number of objections have been raised with regards to the impact of the proposal on residential amenity and the below sections assess the impact of the proposal on the surrounding properties generally as well as those adjoining on Ridge Langley, Arkwright Road and Courtlands Close. Overall it is considered that the modest height, separation distances proposed and traditional design would mitigate any significant impacts and the residential amenity of neighbouring properties would be preserved.

78- 80 Ridge Langley

- 8.33 The dwellings achieve a minimum separation distance of 22m-28m with properties at 78-80 Ridge Langley. These distances comply with para 2.3.36 of the Mayor of London's Housing SPG, which suggests that 18-21m could be a 'useful yardstick' for measuring separation distances to ensure visual privacy between habitable rooms facing each other. There are also no direct window to window relationships with the proposed dwellings set at oblique angles as shown in the below figure 9 which would further reduce overlooking impacts.
- 8.34 In comparison to the previous scheme the number of units facing Nos. 78-80 Ridge Langley has been reduced from 7 units to 4 with the all rear dormer windows at roof level omitted and openings changed to traditional windows matching the surrounding which also reduces the perception of overlooking in addition to the separation distances proposed.
- 8.35 These changes in comparison to the previous application refused at committee responds to members concerns whilst optimising the site for family housing. The separation distances and window to window relationships are typical for residential areas across the borough and the proposed development would maintain this.



Figure 10 Proposed separation distances between Plots 1-4 and nos. 78 and 80 Ridge Langley

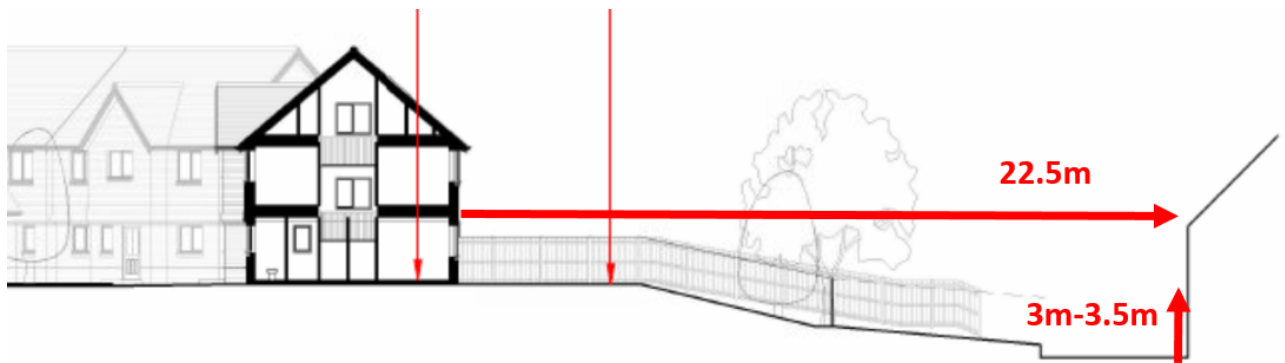


Figure 11 Relationship with No. 80 Ridge Langley

- 8.36 A number of comments have been received regarding the planting to the rear comprising trees and hedging. Officers note that there may be a possibility that this planting could not be maintained, in this case however, the proposed separation distances together with the modest height and traditional windows would mitigate significant overlooking impacts at Nos. 78- 80 Ridge Langley in themselves and therefore the proposed development would not be reliant on additional measures to be policy compliant.
- 8.37 It should be noted however that these trees have already been at the boundary of the site for a number of years and so will continue to provide screening to the rear of the site. This planting would also be maintained with additional tree cover and secured for the lifetime of the development by condition.
- 8.38 The proposed separation distance and overall height would also prevent any significant overbearing, sense of enclosure and daylight/ sunlight impacts
- 8.39 Overall therefore it is considered that the proposed height and mass of the development, together with the separation distances to adjacent properties and

traditional design would not materially harm the residential amenity of nos. 78- 80 Ridge Langley.

Arkwright Road and Courtlands Close

- 8.40 The properties on Arkwright Road have gardens approximately 30m- 51m in depth. There would be window to window separation distances of approximately 40m- 50m which would prevent negative impacts on residential amenity with regards to privacy, overbearing, sense of enclosure and daylight/ sunlight.
- 8.41 At Courtlands close the separation distances would be between 64m and 41m which would also prevent negative impacts on residential amenity with regards to privacy, overbearing, sense of enclosure and daylight/ sunlight.
- 8.42 The residential amenity the properties at Ridge Langley and Courtlands Close would therefore not be significantly impacted and would overall be preserved. The proposed development would not result in any further significant impacts to neighbouring amenity

Trees, landscaping and biodiversity

Trees

- 8.43 Policy G7 requires that wherever possible, existing trees of value should be retained. Similarly, CLP policy DM28 specifies that proposals which result in the avoidable loss of retained trees where they contribute to the character of the area will not be acceptable. CLP policy DM10 also requires proposals to incorporate hard and soft landscaping.
- 8.44 Policy DM10.8 seeks to retain existing trees and vegetation and policy DM28 requires proposals to incorporate hard and soft landscaping.
- 8.45 A total of eight individual trees, two groups of trees, part of one further group of trees, one hedge and part of one further hedge will be removed to enable the proposed development.
- 8.46 Objections have been raised with regards to the loss of tree however the trees to be removed are within the 'C' category either because they are young or are unsuitable for their current situation. These trees are also necessary to be felled to enable the development of access. In addition to this due to their size and visibility the trees to be felled are of limited amenity value to the local area and their loss is therefore capable of being mitigated by replacement tree planting.
- 8.47 A total of 32 replacement trees would be planted which would mitigate the loss of the existing trees together with new hedges, scrub planting and shrub planting.
- 8.48 There are some trees which would experience root incursions as a result of the development, generally due to the hardstanding required for car parking, but these incursions would be relatively minor and the new hard surface areas would be porous and constructed using 'no dig' principles and a cellular confinement sub base.
- 8.49 The Council's Tree Officer has raised no objection to the tree survey, tree protection plan or method statement. It is considered that the replacement species, sizes and locations listed within the landscaping proposal are suitable mitigation planting. A

condition would be attached to ensure all works are carried out in accordance with the tree protection plan.

Landscaping

- 8.50 The application is submitted with a supporting Landscaping Plan by AKJ Landscaping. The existing site consists of two domestic dwelling houses and part rear garden of another and as such it is predominantly a mixture of soft landscaping; lawn and shrub planting and hard landscaping of concrete and tarmac providing the access drives and parking areas for no. 34A and 34B Arkwright Road.
- 8.51 There are substantial shrub, hedge and tree planting proposed which would result in an enhancement to the area which is otherwise characterised as low quality.
- 8.52 The application has also been reviewed by the Council's Tree officer and no objections have been raised.
- 8.53 A condition can be attached to ensure the trees are where appropriate at least semi mature when planted so that they are instant impact. The proposed hard landscaping includes permeable paving across the car parking area, block paving for paths and various planters.
- 8.54 The proposal is considered to comply with Local Plan policy DM10.8 and DM28 and G7.

Ecology

- 8.55 London Plan policy G6 requires proposals to manage impacts on biodiversity.
- 8.56 A Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment was carried out by Agbeko Ecology, Tree & Habitat Services in July 2019 with an updated site visit undertaken in August 2022. The site comprises of two dwellings with associated access track and landscaped gardens. Habitats within the site included buildings, hardstanding, ponds, scattered broad-leaved and conifer trees, introduced shrubs and species poor hedges. The Preliminary Bat Roost Assessment confirmed that both buildings were of negligible potential to support roosting bats.
- 8.57 A badger walkover survey was carried out by Greenspace Ecological Solutions which confirmed that the holes were confirmed badger setts. The sett comprised of two holes which are likely linked together. The sett was confirmed to be an outlier sett. A 10m zone within which no construction will take place was recommended along with a no dig construction methods within the car park near the sett. A planting of a new hedgerow around the sett would secure it in the long-term. The report concluded that any vegetation clearance works and building works should be undertaken during the period of October to February, inclusive, outside of the nesting bird season. Precautionary approaches to clearance of vegetation were recommended with regards to reptiles and amphibians. These measures are to be secured by planning conditions.
- 8.58 A Biodiversity Net Gain Assessment has been undertaken which concludes that the scheme would result in a 24.21% increase in biodiversity for habitats which is a measureable net gain. Proposed biodiversity enhancement measures include bird and bat boxes, native species, minimal external lighting, deadwood habitat piles, and the incorporation of gaps within boundary fencing to allow hedgehogs to roam.

- 8.59 Further updated site visit surveys would be secured by condition as the update surveys would be considered out of date in February 2024. This approach is acceptable given the sites previous history and numerous ecological assessments stating that the proposal is not likely to result in loss of protected species or habitats and that there has been no change since 2019.
- 8.60 The proposal has been reviewed by the Council's independent Ecology advisor and no objection has been raised subject to conditions for a Construction Environment Management Plan (Biodiversity), ensuring that works are carried out in accordance with the submitted assessments and the incorporation of a wildlife sensitive lighting design scheme.
- 8.61 The proposal complies with Local Plan policy DM27 and London Plan policy G6.

Access, parking and highway impacts

- 8.62 London Plan policies T4, T6, and T6.1 (and Table 10.3) set out parking standards for proposed development and seek to ensure that proposals should not increase road danger. Similarly, CLP policies SP8, DM29, and DM30 promote sustainable growth and provide further guidance with respect to parking within new developments.
- 8.63 The application site has a PTAL (public transport accessibility level) of 3, which is considered moderate on a scale of 0 (worst) - 6b (best). The application site is not located within a controlled parking zone. The site is approximately 200m from the Beulah Road Local Centre and nearby bus routes to Thornton Heath District Centre and train station.

Access

- 8.64 The site has a Public Transport Accessibility Level (PTAL) of 1a which indicates very poor access to public transport. The closest train station is Sanderstead which is approximately 1km (24 min walk) away, and there is a bus route on Selsdon Road 480m (5 min walk) away. It is acknowledged that the site is not well served by public transport.
- 8.65 The site has an existing vehicle entrance point and access road. The proposal is to widen the existing entrance to allow cars to be able to pass by together with alterations to the central island on Arkwright Road to enable vehicles exiting the site to turn right without conflicting with either the island or vehicles attempting to turn into the site at the same time.
- 8.66 These alterations are proposed following a Stage 1 Road Safety Audit of the site access junction undertaken by Gateway TSP for a previous planning application, the recommendations of which the applicants have all accepted. As the access junction arrangements are identical to the previous scheme, alongside the internal access road, the findings of the audit are still considered relevant to this revised scheme.
- 8.67 No objections have been raised by Highways officers and an acceptable and safe access would be provided for both pedestrians and vehicles. These alterations would be dealt with as part of a Section 278 agreement. The works would be funded by the applicant and would need to be completed prior to occupation.
- 8.68 There are 3 further stages of road safety audit to take place and to be reviewed and approved by the highways team (outside of the planning process) including stages 2

and 3 which both take place during detailed design, and prior to first use of the new junction, then stage 4 which takes place after implementation. The current proposal is therefore acceptable in planning terms, in terms of adequate provision for road safety.

- 8.69 The access road would be a shared access road used by pedestrians, cyclists and vehicles, which is as per the existing arrangement but it would be formalised. The existing width of between 3.7m and 4.1m is sufficiently wide for pedestrians or bikes to have a 1m wide path and to be safely passed by a vehicle.
- 8.70 It is proposed to introduce a painted strip along the access road which would be demarcated by either a white strip, or via appropriate materials (such as brick) to ensure car drivers are aware of the potential for pedestrians to be using the access road. Considering the quantum of development and likely level of both vehicle and pedestrian flow, this is considered an appropriate measure as opposed to physically separating pedestrians and cars. Notably, the previous planning applications did not include a physically separated pedestrian path; and included a greater amount of homes (and likely vehicle movements), so given the reduced nature of this scheme refusal of the application on this basis is not justified.
- 8.71 A condition would be attached to ensure that boundary treatments and landscaping in sightline areas are not higher than 0.6m.

Vehicle Parking

- 8.72 London Plan policy T6.1 permits up to 1.5 spaces per 3+ bed unit which equates to a maximum of 9.
- 8.73 12 car parking spaces are proposed for the 6 dwellings and 6 electric vehicle charging points. Objections have been raised regarding insufficient parking and potential for overspill parking on surrounding roads however the proposed development would be able to accommodate all parking within site in line with London Plan Standards which should be noted are maximum not minimum standards. Plot 5 has been identified as wheelchair adaptable. It would have 2x parking spaces, which could easily be converted to one blue badge space in the future should the occupiers of that home require it, and that would result in 11 parking spaces which would still exceed the maximum parking standard for the development.
- 8.74 Furthermore and in the interests of sustainable development, climate concerns and reducing traffic on roads, new developments should not over-provide car parking and a balance needs to be struck between encouraging sustainable modes of transport on the one hand and ensuring highway safety and managing on-street parking on the other. Whilst the proposal would over-provide parking, it would avoid causing significant overspill parking on Arkwright Road, and therefore the overprovision of parking would not result in harm which warrants refusing the application.
- 8.75 This would include securing £9,000 would be secured via S106 for on street car clubs and general expansion of the EVCP network in the area and improvements to walking and cycling routes in the area. A condition will be attached to require submission of a construction Logistics Plan (CLP) and a condition survey of the surrounding footways and carriageway prior to commencement of works on site.

Cycle Parking

- 8.76 Policy DM30 and London Plan policy T5 would require provision of a total of 12 cycle parking spaces for residents are proposed together with 2 visitor parking spaces.
- 8.77 Cycle stores could be provided within the rear gardens, which all have separate access measuring 1.2m wide. There is sufficient space for larger bikes and electric bike sockets. 2 visitor cycle parking spaces are also proposed externally. These details are acceptable subject to conditions requiring details of the cycle storage within the rear gardens.

Refuse and Recycling

- 8.78 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. Bin stores are located externally and after amending plans in line with highways officer comments, the applicant has demonstrated that collection points, access for refuse vehicles and walking distances would be acceptable.
- 8.79 The access road to the bin store is wide enough for a refuse vehicle and there is sufficient turning space on the site, plus 2m wide paths for operatives to drag bins from the store to the refuse vehicle. A 10sqm bulky good store is also provided on site.
- 8.80 Swept path analysis has also shown that a refuse vehicle would also be able to enter and exit the site in forward gear.
- 8.81 These details are acceptable and a condition will be attached for submission of final details, along with a servicing and delivery management plan.

Flood risk and energy efficiency

Flood Risk

- 8.82 CLP policies SP6.4 and DM25 seek to reduce the risk of flooding in the borough and ensure that all developments incorporate sustainable urban drainage systems (SUDS) to ensure surface run-off is managed as close to the source as possible. Similarly, London Plan policies SI 12 and SI 13 require proposals to ensure that flood risk is minimised and mitigated, and that surface water runoff is managed as close to its source as possible.
- 8.83 The site is within flood zone 1 and at low risk of surface water flooding. The proposed surface water drainage strategy is for infiltration via 2 soakaway tanks. Rainwater pipes and permeable paving are also proposed. Permeable paving would be used across the car park with water routed the soakaway via site drainage.
- 8.84 A condition would be included to require full & final detailed design of the infiltration system at which time the actual proposed site & drainage levels can be confirmed.

Energy Efficiency

- 8.85 Energy Efficiency 8.43 CLP policy SP6 requires the development to achieve the national technical standard for energy efficiency in new homes, which is set at a minimum of 19% CO2 reduction beyond the Building Regulations Part L (2013). Policy SP6 also requires the development to meet a minimum water efficiency standard of

110 litres/person/day. If the application had been otherwise acceptable, matters regarding energy efficiency would have been secured by condition to ensure compliance with policy SP6.

8.86 The proposed development would achieve a carbon reduction of 57% and would meet the minimum water efficiency standard of 110 litres/person/day

8.87 Conditions are recommended to ensure CO2 reduction and water use targets have been met following construction.

Fire safety

8.88 London Plan policy D12 requires all development proposals to achieve the highest standards of fire safety, which should be considered from the outset. Part A sets out six requirements that should be achieved on all developments.

8.89 The applicant has submitted a fire safety strategy which shows assembly points, means of escape and fire vehicle access which is acceptable. Fire safety measures would also be subject to Building Regulations approval.

Conclusions

8.90 The provision of 6 single family dwelling houses in this backland location is acceptable in principle. There is an existing access road to the site and the site is large enough to sustainably accommodate increased residential use.

8.91 The proposed block would not be particularly visible from the public highway but would be of a high quality design and high quality materials have been specified. The quality of accommodation is acceptable and the quantity of car parking, cycle parking and access arrangements are all acceptable. Tree losses would be mitigated by replacement planting and landscaping and ecological features and habitats would be protected. There would be increased overlooking towards the rear of properties on Ridge Langley but this alone would not be a reason to refuse the scheme.

8.92 All material considerations have been taken into account, including responses to the public consultation. Taking into account the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning policy terms.

8.93 All other relevant policies and considerations, including the statutory duties set out in the Equalities Act 2010, the Human Rights Act, the Planning and Compulsory Purchase Act, and the Town and Country Planning Act, have been taken into account. Given the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning terms subject to the detailed recommendation set out in section 2 (APPROVAL).

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PLANNING COMMITTEE AGENDA

PART 8: Other Planning Matters

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning matters, other than planning applications for determination by the Committee and development presentations.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 FURTHER INFORMATION

- 2.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

3 PUBLIC SPEAKING

- 3.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

4 BACKGROUND DOCUMENTS

- 4.1 For further information about the background papers used in the drafting of the reports in part 7 contact Mr P Mills (020 8760 5419).

5 RECOMMENDATION

- 5.1 The Committee to take any decisions recommended in the attached reports.

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Sustainable Communities, Regeneration and Economic Recovery Department
DEVELOPMENT MANAGEMENT

DELEGATED PLANNING DECISIONS (Ward Order)

The following is a list of planning applications determined by the Head of Development Management under delegated powers since the last meeting of the Planning Committee.

15.01.2024 to 26.01.2024

Note: This list also includes those decisions made by Planning Committee and released in this time frame as shown within the level part of each case.

NOTE: The cases listed in this report can be viewed on the Council's Website.

Please note that you can also view the information supplied within this list and see more details relating to each application (including the ability to view the drawings submitted and the decision notice) by visiting our Online Planning Service at the Croydon Council web site (www.croydon.gov.uk/onlineplans).

Once on the Council web page please note the further information provided before selecting the Public Access Planning Register link. Once selected there will be various options to select the Registers of recently received or decided applications. Also; by entering a reference number if known you are able to ascertain details relating to a particular application. (Please remember to input the reference number in full by inserting any necessary /'s or 0's)

Ref. No. :	21/04291/FUL	Ward :	Addiscombe East
Location :	Flat B, 371 Lower Addiscombe Road Croydon CR0 6RJ	Type:	Full planning permission
Proposal :	Erection of a rear dormer roof extension.		
Date Decision:	22.01.24		

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : First And Second Floor Flat
16 Elgin Road
Croydon
CR0 6XA
Type: LDC (Existing) Use edged

Proposal : The application seeks to affirm the lawfulness of installing and retaining interior fixtures, specifically cupboards, countertops, and sinks resembling kitchen installations, within the bedrooms of the first and second floor maisonettes at 16 Elgin Road, under the Town and Country Planning (General Permitted Development) (England) Order 2015 and the Town and Country Planning Act 1990.

Date Decision: 23.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/04446/LP
Location : 16 Elgin Road
Croydon
CR0 6XA
Ward : **Addiscombe East**
Type: LDC (Proposed) Use edged

Proposal : The application seeks confirmation that the installation of specific storage facilities, which seemingly resemble kitchen cupboards, is lawful.

Date Decision: 23.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/04527/LP
Location : 19 Baring Road
Croydon
CR0 7DD
Ward : **Addiscombe East**
Type: LDC (Proposed) Operations edged

Proposal : Erection of roof extension to rear of main roofslope and installation of two (2) rooflights into front roofslope.

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 24/00121/LP
Location : 8 Nicholson Road
Croydon
CR0 6QS
Ward : **Addiscombe East**
Type: LDC (Proposed) Operations edged

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Erection of single storey rear garden annexe.

Date Decision: 24.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 20/01048/FUL

Ward : Addiscombe West

Location : Flat 1
47 Morland Road
Croydon
CR0 6HA

Type: Full planning permission

Proposal : Erection of single-storey rear extension to ground-floor flat and internal reconfiguration to create 1x2 Bedroom Flat and 1x1 Bedroom Flat.

Date Decision: 22.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04516/LP

Ward : Addiscombe West

Location : Flat 1
87 Addiscombe Road
Croydon
CR0 6SF

Type: LDC (Proposed) Operations
edged

Proposal : The application seeks confirmation that the proposed internal changes to the existing flat will be lawful and do not require planning consent.

Date Decision: 25.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04524/LE

Ward : Addiscombe West

Location : 16 Exeter Road
Croydon
CR0 6EG

Type: LDC (Existing) Operations
edged

Proposal : Erection of ground-floor wraparound rear extension (retrospective).

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (existing)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Ref. No. : 23/04708/NMA
Location : 2 Vincent Road
Croydon
CR0 6ED
Ward : Addiscombe West
Type: Non-material amendment

Proposal : Provision of 7no. Air Source Heat Pumps (ASHP) located to the rear of the site to serve 7no. new flats created as part of the Planning Approval reference: 23/03765/NMA (Non-material amendment application relating to planning application reference 18/05930/FUL for 'Demolition of existing dwelling. Erection of 3 storey building comprising 7 flats with associated amenity space, refuse and cycle storage and other associated alterations')

Date Decision: 16.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 24/00219/LP
Location : 55 Tunstall Road
Croydon
CR0 6TY
Ward : Addiscombe West
Type: LDC (Proposed) Operations edged

Proposal : Alterations, construction of dormer extensions in rear roof slopes and installation of three roof lights in the front roof slope.

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/03399/LP
Location : 74 Bensham Manor Road
Thornton Heath
CR7 7AB
Ward : Bensham Manor
Type: LDC (Proposed) Operations edged

Proposal : Erection of rear dormer roof extension.

Date Decision: 17.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/03509/GPDO
Location : 149 Langdale Road
Thornton Heath
CR7 7PX
Ward : Bensham Manor
Type: Prior Appvl - Class A Larger House Extns

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Erection of single storey rear extension projecting out 3.6 metres with a maximum height of 3.03 metres

Date Decision: 22.01.24

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/04178/CONR

Ward : Bensham Manor

Location : 21 Brigstock Road
Thornton Heath
CR7 7JJ

Type: Removal of Condition

Proposal : Minor Material Amendment (Section 73) to Planning Permission ref. 20/06653/FUL for 'Demolition of an existing outbuilding and the erection of single storey extension to be used for community facilities associated with the existing temple'. Amendment seeks alterations to the depth, design, form and width of proposed structure, and associated re-wording of Condition 6

Date Decision: 19.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04318/LE

Ward : Bensham Manor

Location : 74 Bensham Manor Road
Thornton Heath
CR7 7AB

Type: LDC (Existing) Operations
hatched

Proposal : Single-storey and two-storey rear extensions (Lawful Development Certificate for an Existing Development)

Date Decision: 25.01.24

Lawful Dev. Cert. Granted (existing)

Level: Delegated Business Meeting

Ref. No. : 23/00981/FUL

Ward : Broad Green

Location : 254 London Road
Croydon
CR0 2TH

Type: Full planning permission

Proposal : Alterations, erection of third floor roof extension with terrace to provide an additional 1x 1-bedroom flat

Date Decision: 17.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04477/DISC
Location : 56 - 58 Factory Lane
Croydon
CR0 3RL

Ward : **Broad Green**
Type: Discharge of Conditions

Proposal : Discharge of condition 9(a) (location and layout of the Photovoltaic Panels) attached to planning permission for 21/06012/FUL for demolition of existing buildings and the development of a Class E(g)ii, E(g)iii, B2 and B8 use employment unit with ancillary office accommodation, associated external yard areas, HGV, car parking and cycle parking, servicing areas, external lighting, soft landscaping, infrastructure and associated works.

Date Decision: 25.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04631/FUL
Location : First Floor Flat
7 Farquharson Road
Croydon
CR0 2UH

Ward : **Broad Green**
Type: Full planning permission

Proposal : Installation of two velux rooflights to the front slope.

Date Decision: 16.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03549/FUL
Location : 197 Church Road
Upper Norwood
London
SE19 2PS

Ward : **Crystal Palace And Upper Norwood**
Type: Full planning permission

Proposal : The conversion of the existing flat into 2 dwellings. A roof extension to the cottage and changes to the rear elevation of both the main house and cottage to facilitate the conversion. Changes to the landscaping at the front to rationalise the parking, bin and bike store areas.

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Date Decision: 17.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04471/LP

Ward : Crystal Palace And Upper Norwood

Location : 9 Fitzroy Gardens
Upper Norwood
London
SE19 2NP

Type: LDC (Proposed) Operations edged

Proposal : Alterations and conversion of garage into a habitable room.

Date Decision: 24.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04718/NMA

Ward : Crystal Palace And Upper Norwood

Location : Land Adjoining 96
Beulah Hill
Upper Norwood
London

Type: Non-material amendment

Proposal : Non material amendment to planning permission 19/05106/FUL involving alterations to the sizes and positions of some windows in the elevations and changes to the number, sizes and position of rooflights. Minor alterations to the internal floor layouts.

Date Decision: 25.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04732/CAT

Ward : Crystal Palace And Upper Norwood

Location : 37 Stambourne Way
Upper Norwood
London
SE19 2PY

Type: Works to Trees in a Conservation Area

Proposal : T1 - Tilia x europea - Reduce by 3.5 - 4m in height, Reduce by 1.5 - 2m radially, Remove epicormic growth from main scaffold.

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Date Decision: 22.01.24

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 24/00249/TR5

Ward : Crystal Palace And Upper Norwood

Location : 7A Beulah Hill
Upper Norwood
London
SE19 3LQ

Type: 5 Day Notification to Remove TPO(s)

Proposal : To reduce the tree by 4 metres in order to reduce the weight of the canopy due to root breakage.

Date Decision: 24.01.24

No Objection

Level: Delegated Business Meeting

Ref. No. : 23/01969/FUL

Ward : Coulsdon Town

Location : 12 Fairdene Road
Coulsdon
CR5 1RA

Type: Full planning permission

Proposal : Demolition of outbuildings. Erection of 3 storey 4 bedroom detached new dwelling on land adjacent to 12 Fairdene Road and alterations to associated parking, refuse, cycle storage, alterations to land levels, boundary treatments and alterations to dropped kerb.

Date Decision: 24.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/03378/DISC

Ward : Coulsdon Town

Location : 14 The Grove
Coulsdon
CR5 2BH

Type: Discharge of Conditions

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Discharge of condition 3 (landscaping, external storage, levels and lighting), 5 (external materials), 6 (construction logistics plan), 8 (tree protection plan), 11 (boundary treatment plan), 2 (fire safety statement) and 15 (external energy generation measure) attached to planning permission REF: 22/02587/FUL (Erection of a three storey plus attic level detached house following demolition of the side garage, provision of car parking, cycle parking and refuse storage and formation of a new vehicular access and car parking in the front garden of the main dwellinghouse)

Date Decision: 23.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04125/DISC

Ward : Coulsdon Town

Location : 6 Chaplin Place
Coulsdon
Croydon
CR5 3GH

Type: Discharge of Conditions

Proposal : Discharge of condition 4 (sections) of planning reference 23/02054/HSE for a loft conversion incorporating two dormers to front elevation and one to the rear, installation of glazing panel to rear facing gable.

Date Decision: 18.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04225/DISC

Ward : Coulsdon Town

Location : 27A And 29 The Grove
Coulsdon
CR5 2BH

Type: Discharge of Conditions

Proposal : Discharge Condition 11 (Waste Management Plan) attached to Planning Permission ref. 20/06661/FUL for 'Demolition of existing 2no. detached dwellings, and construction of 9no. new dwellings (5 x 3bed units and 4 x 4bed units) with associated parking and landscaping'

Date Decision: 17.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04324/GPDO

Ward : Coulsdon Town

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 28 Stoats Nest Village
Coulsdon
CR5 2JL
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of single storey rear extension projecting out 5 metres with a maximum height of 3 metres

Date Decision: 22.01.24

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/04358/HSE
Location : Corrigan
The Chase
Coulsdon
CR5 2EG
Ward : **Coulsdon Town**
Type: Householder Application

Proposal : Alterations. Erection of a single storey rear conservatory.

Date Decision: 15.01.24

Permission Granted

Level: Planning Committee

Ref. No. : 23/04359/DISC
Location : Bankview Apartments
96-98 Brighton Road
Coulsdon
CR5 2FN
Ward : **Coulsdon Town**
Type: Discharge of Conditions

Proposal : Discharge of Condition 2a (Covered refuse / recycling storage) attached to permission 19/03322/GPDO for Prior Approval application under Class O of GPDO 2016 for office to residential involving development consisting of a change of use of a ground, first and second floor of a building and any land within its curtilage from a use falling within Class A2 (financial and professional services) to form 10 x 1bed flats (Class C3 residential).

Date Decision: 22.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04432/HSE
Ward : **Coulsdon Town**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 6 Crawford Crescent
Coulsdon
Croydon
CR5 3GL
Type: Householder Application

Proposal : Alterations. Erection of a wall to facilitate conversion of existing carport to habitable space. Installation of one window.

Date Decision: 22.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04574/HSE
Location : 78 Rickman Hill
Coulsdon
CR5 3DR
Ward : **Coulsdon Town**
Type: Householder Application

Proposal : Erection of single storey detached timber-clad outbuilding (following demolition of existing outbuilding).

Date Decision: 22.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04598/NMA
Location : 1 The Wend
Coulsdon
CR5 2AX
Ward : **Coulsdon Town**
Type: Non-material amendment

Proposal : Non-material amendment to application 17/01514/CONR for 'Demolition of existing buildings; erection of 3x two storey 4 bedroom detached dwellings with integral garages, 1x single storey two bedroom detached bungalow with integral garage: associated works (without compliance with condition 2 - to build in accordance with plans, to include basement levels for units 1A, 1B and 1C - attached to planning permission 12/02606/P)' to change the footprint of the units 1A, 1B and 1C; install rooflights to all units; new garage door and removal of two storey rear projections to units 1A, 1B and 1C.

Date Decision: 23.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/03552/FUL
Ward : **Fairfield**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 43 Tamworth Road
Croydon
CR0 1XU
Type: Full planning permission

Proposal : Change of use from office (Use Class E) to microhotel (Use Class C1), with front canopy, refuse storage, and associated external alterations

Date Decision: 22.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03775/FUL
Location : Direct Line House
3 Edridge Road
Croydon
CR9 1AG
Ward : **Fairfield**
Type: Full planning permission

Proposal : Change of use of first floor from office (Use Class E) to education centre (Use Class F1(a))

Date Decision: 19.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04002/FUL
Location : 16A Parker Road
Croydon
CR0 1DU
Ward : **Fairfield**
Type: Full planning permission

Proposal : Change of use from Tattoo Parlour (Use Class Sui Generis) to Residential (Use Class C3); proposed first floor with alterations to the roof, along with elevational alterations and associated additions.

Date Decision: 22.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04018/FUL
Location : The Windmill Public House
224 St James's Road
Croydon
CR0 2BW
Ward : **Fairfield**
Type: Full planning permission

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Demolition of the former Windmill Public House. Erection of a three/six storey mixed use building comprising of commercial space (sui generis (public house)/Class Eb (restaurant/cafe)) on part of the ground floor level and x23 residential flats. Provision of associated cycle parking, refuse storage and landscaping.

Date Decision: 19.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04282/LE
Location : 127 Edridge Road
Croydon
CR0 1EJ
Ward : **Fairfield**
Type: LDC (Existing) Use edged

Proposal : Loft conversion with dormer over main roof and construction of outrigger with rooflights installed on front roofslope

Date Decision: 23.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/04283/HSE
Location : 127 Edridge Road
Croydon
CR0 1EJ
Ward : **Fairfield**
Type: Householder Application

Proposal : Roof conversion with construction of rear dormer [Retrospective Application].

Date Decision: 23.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04456/DISC
Location : Land Adjacent To Croydon College
College Road
Croydon
CR0 1PF
Ward : **Fairfield**
Type: Discharge of Conditions

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Discharge of Condition 21 (cycle parking) attached to planning permission 21/03856/CONR for the Variation of conditions 2 (approved plans) and 38 (parking facilities) imposed upon planning permission 19/04987/FUL (for redevelopment of the site to provide a part 49 storey and part 34 storey building with basements, comprising 817 co-living units (Use Class Sui Generis) within Tower A and 120 residential units (Use Class C3) within Tower B, a cafe (Use Class A3), community use (Use Class D1), associated communal facilities for co-living residents, amenity spaces, cycle parking, disabled parking spaces, refuse and cycle storage and associated landscaping and public realm works)

Date Decision: 23.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04481/PDO

Ward : Fairfield

Location : Centrale Shopping Centre
21 North End
Croydon
CR0 1TY

Type: Observations on permitted development

Proposal : Proposed upgrade to the existing rooftop telecommunication equipment with installation of antennas, support poles, cables and associated works.

Date Decision: 26.01.24

No Objection

Level: Delegated Business Meeting

Ref. No. : 23/02920/OUT

Ward : Kenley

Location : 233 Hayes Lane
Kenley
CR8 5HN

Type: Outline planning permission

Proposal : Outline application for the erection of 2no. semi-detached dwellinghouses (Scale ONLY to be considered)

Date Decision: 19.01.24

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 23/04430/DISC

Ward : Kenley

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 8 Kearton Close Type: Discharge of Conditions
Kenley
CR8 5EN

Proposal : Discharge of Conditions 3 (Materials), 4 (Louvre Details), 9 (Biodiversity Enhancement Strategy), 16 (Sedum Roof/Flood management), and 17 (SUDS), attached to planning permission ref. 20/00981/FUL for 'Demolition of existing 2 bedroom bungalow and replacement with four dwellings, car parking, landscaping'

Date Decision: 22.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04461/CONR Ward : **Kenley**
Location : 314 And 316 Old Lodge Lane Type: Removal of Condition
Purley
CR8 4AQ

Proposal : Variation of condition number 4 (drawing numbers) attached to planning permission ref. 21/04007/OUT. (Demolition of existing dwelling and erection of 5 dwellings with associated access, amenity and cycle/refuse provision).

Date Decision: 24.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04588/LP Ward : **Kenley**
Location : 271 Hayes Lane Type: LDC (Proposed) Operations
Kenley edged
CR8 5EJ

Proposal : Erection of detached summer house at rear

Date Decision: 26.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/03305/HSE Ward : **New Addington North**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 74 Elmside
Field Way
Croydon
CR0 9DU
Type: Householder Application

Proposal : Erection of first-floor rear extension. Alteration to fenestration. Alteration to external walls.

Date Decision: 26.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/02780/HSE
Location : 55 North Downs Road
Croydon
CR0 0LE
Ward : **New Addington South**
Type: Householder Application

Proposal : Construction of double storey extension and single storey extension

Date Decision: 26.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/03805/HSE
Location : 70 Kennelwood Crescent
Croydon
CR0 0DQ
Ward : **New Addington South**
Type: Householder Application

Proposal : Erection of single storey side extension and a front porch (amended description)

Date Decision: 15.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04227/HSE
Location : 32 Overbury Crescent
Croydon
CR0 0LL
Ward : **New Addington South**
Type: Householder Application

Proposal : Erection of two-storey side and rear extension following demolition of existing carport.
Erection of front porch.

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Date Decision: 23.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04348/HSE
Location : 20 Uvedale Crescent
Croydon
CR0 0BP

Ward : **New Addington South**
Type: Householder Application

Proposal : Construction of a single-storey outbuilding to the rear garden and construction of a new perimeter wall

Date Decision: 18.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04498/LP
Location : 52 Warbank Crescent
Croydon
CR0 0AS

Ward : **New Addington South**
Type: LDC (Proposed) Operations
edged

Proposal : Erection of rear dormer, provision of four rooflights in front roofslope and removal of chimney stack

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04499/HSE
Location : 52 Warbank Crescent
Croydon
CR0 0AS

Ward : **New Addington South**
Type: Householder Application

Proposal : Erection of single-storey rear extension and associated alteration works.

Date Decision: 26.01.24

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 24/00232/LP
Location : 30 Hillcote Avenue
Norbury
London
SW16 3BH

Ward : Norbury Park
Type: LDC (Proposed) Operations edged

Proposal : Erection of outbuilding in the rear garden.

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/04182/FUL
Location : 7 St Helen's Crescent
Norbury
London
SW16 4LE

Ward : Norbury And Pollards Hill
Type: Full planning permission

Proposal : Conversion of dwellinghouse into eight (8) self-contained flats (Use Class C3) and associated erection of part two/three-storey side extension (following demolition of existing additions) and two (2) dormer windows on rear of main roofslope, Associated amenity, cycle storage, vehicle parking and waste storage spaces, and Associated alterations including landscaping and changes to fenestration and roofscape

Date Decision: 24.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/02189/HSE
Location : 104 Northborough Road
Norbury
London
SW16 4AZ

Ward : Norbury And Pollards Hill
Type: Householder Application

Proposal : Loft conversion with rear dormer and the installation of two rooflights on front roofslope.

Date Decision: 16.01.24

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/04428/LP
Location : 56 Pollards Hill South
Norbury
London
SW16 4NB

Ward : Norbury And Pollards Hill
Type: LDC (Proposed) Operations edged

Proposal : Erection of single storey rear extension. Hip to gable loft conversion, erection of rear dormer and installation of two rooflights on the front roofslope.

Date Decision: 22.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04458/GPDO
Location : 67A Stanford Road
Norbury
London
SW16 4PP

Ward : Norbury And Pollards Hill
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of single storey rear extension projecting out 6 metres with a maximum height of 3.5 metres

Date Decision: 22.01.24

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/04470/HSE
Location : 24 Southbrook Road
Norbury
London
SW16 5QU

Ward : Norbury And Pollards Hill
Type: Householder Application

Proposal : Erection of roof extension to rear of main roofslope with Juliet balcony, and single -storey rear extension (following demolition of existing extensions), installation of three (3) rooflights into the front roofslope.

Date Decision: 24.01.24

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/04501/DISC **Ward : Norbury And Pollards Hill**
Location : 66 Pollards Hill North **Type: Discharge of Conditions**
Norbury
London
SW16 4NY

Proposal : Discharge of Condition 5 (CEMP) and Condition 11 (biodiversity enhancements) attached to planning permission 21/03908/FUL for the Demolition of existing dwellinghouse building and provision of residential accommodation (Class C3) comprising the erection of 9 two storey houses with rooms in roof space facing onto Pollards Hill North and Beech Road, with associated landscaping, refuse and recycling storage and cycle and car parking.

Date Decision: 26.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04503/DISC **Ward : Norbury And Pollards Hill**
Location : 66 Pollards Hill North **Type: Discharge of Conditions**
Norbury
London
SW16 4NY

Proposal : Discharge of Condition 10 (drainage) attached to planning permission 21/03908/FUL for the Demolition of existing dwellinghouse building and provision of residential accommodation (Class C3) comprising the erection of 9 two storey houses with rooms in roof space facing onto Pollards Hill North and Beech Road, with associated landscaping, refuse and recycling storage and cycle and car parking.

Date Decision: 18.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04223/LP **Ward : Old Coulsdon**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 51 Coulsdon Rise
Coulsdon
CR5 2SF
Type: LDC (Proposed) Operations
edged

Proposal : Erection of first floor rear dormer.

Date Decision: 23.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04319/TRE
Location : 167 Tollers Lane
Coulsdon
CR5 1BJ
Ward : **Old Coulsdon**
Type: Consent for works to protected
trees

Proposal : T5 Oak Tree - Fell due to subsidence.
(TPO 49, 2008)

Date Decision: 19.01.24

Consent Refused (Tree application)

Level: Delegated Business Meeting

Ref. No. : 23/04361/DISC
Location : Development Site At
114 Addiscombe Road
Croydon
CR0 5PQ
Ward : **Park Hill And Whitgift**
Type: Discharge of Conditions

Proposal : Details pursuant to Condition 16 (contamination) attached to Planning permission
19/05965/FUL for Demolition of existing building and erection of two dwelling houses with
off street parking.

Date Decision: 15.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04045/HSE
Ward : **Purley Oaks And**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 46 Riddlesdown Avenue
Purley
CR8 1JJ

Type: **Riddlesdown**
Householder Application

Proposal : Erection of single storey rear extension and front roof extension. Alteration.

Date Decision: 16.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04270/HSE

Location : 71 Grasmere Road
Purley
CR8 1DZ

Ward : **Purley Oaks And Riddlesdown**

Type: Householder Application

Proposal : Retrospective application for the demolition of single storey side extension and construction of two storey side extension, 3m deep single storey rear extension and hip to gable roof extension and rear facing dormer.

Date Decision: 24.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04275/FUL

Location : 90 Riddlesdown Road
Purley
CR8 1DD

Ward : **Purley Oaks And Riddlesdown**

Type: Full planning permission

Proposal : Demolition of existing detached house and alterations to the existing land levels; erection of a single block of 9 apartments with associated landscaping, car parking and refuse/cycle storage facilities.

Date Decision: 26.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04526/DISC

Ward : **Purley Oaks And Riddlesdown**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 88 Riddlesdown Road
Purley
CR8 1DD
Type: Discharge of Conditions

Proposal : Discharge of Condition 8 (Finished floor levels) of planning permission 22/00148/FUL (Demolition of existing five-bedroom detached house and erection of a block of flats comprising of 21no. units, refuse and recycling store, parking, landscaping and associated works).

Date Decision: 23.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04609/DISC
Ward : **Purley Oaks And Riddlesdown**

Location : 88 Riddlesdown Road
Purley
CR8 1DD
Type: Discharge of Conditions

Proposal : Discharge of Condition 6 (Materials, detailing and finishes) of planning permission 22/00148/FUL (Demolition of existing five-bedroom detached house and erection of a block of flats comprising of 21no. units, refuse and recycling store, parking, landscaping and associated works).

Date Decision: 24.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04616/LP
Ward : **Purley Oaks And Riddlesdown**

Location : 3 Christchurch Road
Purley
CR8 2BZ
Type: LDC (Proposed) Operations edged

Proposal : Erection of a rear dormer to the main rear roof and above the two storey outrigger, including three rooflights to the front roofslope, and erection of an outbuilding to the rear garden.

Date Decision: 17.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Ref. No. : 23/04033/HSE **Ward : Purley And Woodcote**
Location : 4 Foxglove Gardens **Type: Householder Application**
Purley
CR8 3LQ

Proposal : Erection of first floor side extension with rear balcony above existing garage; conversion of garage to habitable space; erection of single storey garage with pitched roof attached to the side of the dwelling; alterations to fenestration.

Date Decision: 26.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04054/HSE **Ward : Purley And Woodcote**
Location : 33 Oakwood Avenue **Type: Householder Application**
Purley
CR8 1AR

Proposal : Erection of single storey rear extension. Alterations.

Date Decision: 17.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04286/DISC **Ward : Purley And Woodcote**
Location : 126 Foxley Lane **Type: Discharge of Conditions**
Purley
CR8 3DS

Proposal : Discharge of Condition 12 (Delivery & Service Management Plan) of planning permission 20/01174/FUL for "Demolition of two existing properties and erection of two buildings ranging from 2 - 5 storeys, comprising 41 flats including provision of car parking, associated amenity areas, hard and soft landscaping as well as refuse and cycle storage."

Date Decision: 18.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04287/DISC **Ward : Purley And Woodcote**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 126 Foxley Lane
Purley
CR8 3DS
Type: Discharge of Conditions

Proposal : Discharge of Condition 13 (Car Park Management Plan) of planning permission 20/01174/FUL for "Demolition of two existing properties and erection of two buildings ranging from 2 - 5 storeys, comprising 41 flats including provision of car parking, associated amenity areas, hard and soft landscaping as well as refuse and cycle storage."

Date Decision: 18.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04288/DISC
Location : 126 Foxley Lane
Purley
CR8 3DS
Ward : **Purley And Woodcote**
Type: Discharge of Conditions

Proposal : Discharge of Condition 19 (Travel Plan) of planning permission 20/01174/FUL for "Demolition of two existing properties and erection of two buildings ranging from 2 - 5 storeys, comprising 41 flats including provision of car parking, associated amenity areas, hard and soft landscaping as well as refuse and cycle storage."

Date Decision: 22.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04344/DISC
Location : 126 Foxley Lane
Purley
CR8 3DS
Ward : **Purley And Woodcote**
Type: Discharge of Conditions

Proposal : Discharge of Condition 20 (Tree Supervision and Monitoring) of planning permission 20/01174/FUL for "Demolition of two existing properties and erection of two buildings ranging from 2 - 5 storeys, comprising 41 flats including provision of car parking, associated amenity areas, hard and soft landscaping as well as refuse and cycle storage."

Date Decision: 25.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04365/ADV
Location : 918A Brighton Road
Purley
CR8 2LN

Ward : Purley And Woodcote
Type: Consent to display
advertisements

Proposal : Installation of 1 internally illuminated fascia sign including text and logo. Installation of 1 internally illuminated projecting sign. Installation of 1 internally illuminated ATM surround and decals. Installation of statutory signage.

Date Decision: 16.01.24

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 23/04386/HSE
Location : 40A Monahan Avenue
Purley
CR8 3BA

Ward : Purley And Woodcote
Type: Householder Application

Proposal : Alterations, erection of single storey side and rear extensions, erection of front porch extension, alterations to garage to include a pitched roof

Date Decision: 18.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04440/DISC
Location : Development Site At Former Site Of
922 - 930 Purley Way
Purley
CR8 2JL

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Discharge of condition 13 (detailed drawings) attached to planning permission 22/01141/CONR for Variation of Conditions 2 (plans), 3 (detailed description), 11 (Fire statement), 17 and 18 (soft landscaping), 26 (refuse storage and cycle parking), 28 (energy statement), 34 (air quality), 36 (trees) and 37 (wheelchair accessible dwellings) of planning permission 20/06224/FUL for the 'Demolition of existing residential dwellings and erection of a residential development, with associated landscaping, access, cycle and car parking.

Date Decision: 22.01.24

Not approved

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/04476/HSE
Location : 2A Hillcroft Avenue
Purley
CR8 3DG

Ward : Purley And Woodcote
Type: Householder Application

Proposal : Formation of new vehicular access, including associated alterations to the front boundary wall.

Date Decision: 23.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04599/DISC
Location : 67 Higher Drive
Purley
CR8 2GE

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Discharge of condition 13 (public art) attached to planning permission 20/01484/FUL for Demolition of existing building and erection of a four storey block of flats (including roofspace accommodation) and associated car parking, cycle parking, bin storage and landscaping. The proposed development comprises 17 residential apartments and 13 car parking spaces.

Date Decision: 26.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04738/NMA
Location : 41 - 43 Russell Hill Road
Purley
CR8 2LD

Ward : Purley And Woodcote
Type: Non-material amendment

Proposal : Non-Material Amendment (Section 96A) to planning permission ref. 18/04264/FUL. (Demolition of existing buildings; Erection of 2 x three/four storey buildings comprising 8 x one bedroom, 16 x two bedroom and 4 x three bedroom flats. Provision of vehicular accesses and provision of parking spaces, refuse and cycle storage and landscaping).

Date Decision: 15.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 24/00071/PDO
Location : Reedham Railway Station
Old Lodge Lane
Purley
CR8 4DJ

Ward : Purley And Woodcote
Type: Observations on permitted development

Proposal : The proposed upgrade of an existing base station consisting of the removal of the 25m high monopole and installation of a new 25m high monopole supporting 3 no replacement antennas together with ancillary development thereto.

Date Decision: 18.01.24

No Objection

Level: Delegated Business Meeting

Ref. No. : 20/06345/CONR
Location : Greenglade Court
22 Briton Crescent
South Croydon
CR2 0JF

Ward : Sanderstead
Type: Removal of Condition

Proposal : Variation of condition number 1 (drawing numbers), 2 (materials) and 15 (drainage) attached to planning permission ref. 18/04026/FUL. (Demolition of the existing dwelling of a three storey development for nine apartments with associated access, nine off-street parking spaces, cycle storage and refuse store at 22 Briton Crescent, South Croydon, CR2 0JF).

Date Decision: 23.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/01842/DISC
Location : 3 Harewood Gardens
South Croydon
CR2 9BU

Ward : Sanderstead
Type: Discharge of Conditions

Proposal : Discharge of condition 5 (Materials) of planning permission 20/03366/FUL. (Demolition of two family dwellinghouses and erection of 8x semi-detached houses with associated access, car parking, cycle and refuse storage.)

Date Decision: 18.01.24

Approved

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/01166/HSE
Location : 22A Sylvan Close
South Croydon
CR2 8DS

Ward : Sanderstead
Type: Householder Application

Proposal : Erection of single storey front, rear and side extensions, rear dormer, raised patio and steps to the garden.

Date Decision: 17.01.24

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/04500/FUL
Location : 12 Mayfield Road
South Croydon
CR2 0BE

Ward : Sanderstead
Type: Full planning permission

Proposal : Relocation of bin store and alterations.

Date Decision: 26.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04536/DISC
Location : 112 Purley Downs Road
South Croydon
CR2 0RR

Ward : Sanderstead
Type: Discharge of Conditions

Proposal : Discharge of condition 9 (construction logistics plan) attached to planning permission 21/04797/FUL for the erection of two new dwellings on land to the rear of the existing semi-detached dwelling and associated works.

Date Decision: 18.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/04544/HSE

Ward : Sanderstead

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 18 Downsway
South Croydon
CR2 0JA
Type: Householder Application

Proposal : Insertion of a Juliet balcony to the rear dormer.

Date Decision: 22.01.24

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/04558/TRE
Location : 29 Blacksmiths Hill
South Croydon
CR2 9AZ
Ward : **Sanderstead**
Type: Consent for works to protected trees

Proposal : T1 - Lawson Cypress: Fell
T17 - Ash: Pollard to 5m
T20 - Ash: Crown Reduction of up to 2 metres in Crown Height and 1.5 metres in Lateral Growth.
T37 - Plum: Crown Reduction of up 1.5 in Crown Height and 1.5 Lateral Growth.
T41 - Weeping Willow: Crown Reduction of up to 3 metres in Crown Height and 2 metres in Lateral Growth.
T69 - Oak: Fell
T72 - Oak : Pollard to 5 metres
T73 - Elm: Fell
(TPO 172)

Date Decision: 22.01.24

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 23/04660/LP
Location : 48 Elmfield Way
South Croydon
CR2 0EE
Ward : **Sanderstead**
Type: LDC (Proposed) Operations edged

Proposal : Conversion of garage to a habitable room.

Date Decision: 23.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04757/LP
Location : Nirvana
37 West Hill
South Croydon
CR2 0SB

Ward : Sanderstead
Type: LDC (Proposed) Operations
edged

Proposal : Erection of outbuilding for use as gym/storage.

Date Decision: 15.01.24

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/04778/NMA
Location : 11 Blacksmiths Hill
South Croydon
CR2 9AZ

Ward : Sanderstead
Type: Non-material amendment

Proposal : Non-material amendment to planning permission 21/06339/FUL for the construction of 3 houses on land to the side and rear of 11 Blacksmiths Hill. The amendment provides a revised Arboricultural Impact Assessment and Method Statement.

Date Decision: 24.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 23/02410/HSE
Location : 7 Mountwood Close
South Croydon
CR2 8RJ

Ward : Selsdon And Addington Village
Type: Householder Application

Proposal : Alterations. Upwards extension to form additional storey. Replacement of a conservatory with a rear two-storey extension, conversion of extensive basement storage to create more living space, reconfiguration of the existing ground floor space and solar array on the roof. Erection of new ramps and new raised patio at rear.

Date Decision: 25.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03750/HSE
Location : 104 Farley Road
South Croydon
CR2 7NE
Ward : **Selsdon And Addington Village**
Type: Householder Application
Proposal : Erection of an outbuilding (retrospective)
Date Decision: 25.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03357/FUL
Location : 28 Boulogne Road
Croydon
CR0 2QT
Ward : **Selhurst**
Type: Full planning permission
Proposal : Change of use of part of the site from an accessibility equipment storage centre (Use Class B8) to a car repair garage (Use Class B2) with associated external alterations to the buildings on site including part demolition. Changes to the site layout including the provision of double stacked car parking. Other associated alterations
Date Decision: 18.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04112/FUL
Location : 6 Windmill Road
Croydon
CR0 2XN
Ward : **Selhurst**
Type: Full planning permission
Proposal : Erection of three storey side and rear extensions, internal reconfiguration, alterations to facade and provision of two additional flats (Use Class C3) with associated landscaping.
Date Decision: 19.01.24

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Ref. No. : 23/04352/FUL **Ward : Selhurst**
Location : 220 - 222 Sydenham Road Type: Full planning permission
Croydon
CR0 2EB

Proposal : Conversion of 2 single semi-detached units into 7 separate dwellings, erection of single storey rear extensions, basement extensions, front light wells and dormer windows, loft constructions and front roof lights. Construction of refuse and cycle stores.

Date Decision: 19.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04576/DISC **Ward : Selhurst**
Location : 117 Whitehorse Road Type: Discharge of Conditions
Croydon
CR0 2LG

Proposal : Discharge of Condition 4(c) only (contaminated land assessment) of LPA ref: 22/04691/FUL (Decommissioning and removal of underground fuel tanks and installation of replacement underground fuel tanks with associated works).

Date Decision: 17.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/04738/GPDO **Ward : Shirley North**
Location : 53 Orchard Way Type: Prior Appvl - Class A Larger
Croydon House Extns
CR0 7NQ

Proposal : Erection of a single storey rear extension projecting out 5 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum height of 3.5 metres

Date Decision: 26.01.24

Approved (prior approvals only)

Level: Delegated Business Meeting

Ref. No. : 23/04075/CONR **Ward : Shirley North**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 76 Tower View
Croydon
CR0 7PW
Type: Removal of Condition

Proposal : Variation of condition 2 of 23/02521/FUL Demolition of existing detached garage and shed, erection of a pair of two storey semi-detached houses, provision of modified driveway, provision of 3 parking spaces, refuse and recycling stores, and secure cycle parking, through the removal of plan number 76TW/P3a and the addition of plan number 76TW/P3b, to enable the installation of two rear dormer windows to accommodate a home-office and laundry room in the roof of each dwelling.

Date Decision: 23.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04322/HSE
Location : 2 Woodland Way
Croydon
CR0 7UB
Ward : Shirley North
Type: Householder Application

Proposal : Erection of single-storey side extension following garage conversion.

Date Decision: 15.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04409/HSE
Location : 6 Inwood Close
Croydon
CR0 8BP
Ward : Shirley South
Type: Householder Application

Proposal : Conversion of existing garage to habitable room, existing side rear lean-to refurb to solid extension and removal of existing rear conservatory.

Date Decision: 15.01.24

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Ref. No. : 23/04610/HSE **Ward : Shirley South**
Location : 169 Shirley Church Road **Type: Householder Application**
Croydon
CR0 5AJ

Proposal : Erection of two-storey side extension following demolition of existing garage.

Date Decision: 25.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03404/HSE **Ward : South Croydon**
Location : 51 Castlemaine Avenue **Type: Householder Application**
South Croydon
CR2 7HW

Proposal : Erection of single storey rear extension.

Date Decision: 26.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/03736/OUT **Ward : South Croydon**
Location : 1A Brighton Road **Type: Outline planning permission**
South Croydon
CR2 6EA

Proposal : Outline planning permission for erection of a 5 storey building comprising of up to 28 self contained residential units and 3 commercial units. Reserved matters are access, appearance, landscaping and layout.

Date Decision: 15.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/03787/OUT **Ward : South Croydon**
Location : 1A Brighton Road **Type: Outline planning permission**
South Croydon
CR2 6EA

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Outline planning permission for erection of a 5 storey building comprising of up to 9 self contained residential units and commercial units. Reserved matters are access, appearance, landscaping and layout.

Date Decision: 17.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04402/FUL **Ward : South Croydon**
Location : 57-59 South End **Type: Full planning permission**
Croydon
CR0 1BF

Proposal : The construction of a third floor to create two number private flats including the creation of a new roof terrace.

Date Decision: 18.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04603/LP **Ward : South Croydon**
Location : 5 Dornton Road **Type: LDC (Proposed) Operations**
South Croydon **edged**
CR2 7DR

Proposal : Erection of hip to gable and dormer. Installation of 6 rooflights.

Date Decision: 22.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/04607/FUL **Ward : South Croydon**
Location : 74A And 74C Croham Road **Type: Full planning permission**
South Croydon
CR2 7BD

Proposal : Erection of a two storey rear extension and roof terrace at first floor level, including alterations to the roof of the existing single storey side addition.

Date Decision: 22.01.24

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/03968/FUL **Ward : South Norwood**
Location : 25B South Norwood Hill **Type: Full planning permission**
South Norwood
London
SE25 6BS

Proposal : Two storey front, part single and part two storey rear and roof extensions to the building.
Conversion of the existing house into 4 flats. Other associated alterations

Date Decision: 23.01.24

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/04442/DISC **Ward : South Norwood**
Location : Elizabeth Cottage Rear Of 63 **Type: Discharge of Conditions**
Portland Road
South Norwood
London
SE25 4UN

Proposal : Discharge Condition 3 (External facing materials) and Condition 4 (Details of vents,
pipework and junctions) attached to Planning Permission ref. 23/00086/FUL for
'Refurbishment and extension of existing Elizabeth Cottage. Erection of 3 additional
dwellings with associated amenity space, cycle and refuse storage'

Date Decision: 23.01.24

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/04528/LP **Ward : South Norwood**
Location : 22 Sundial Avenue **Type: LDC (Proposed) Operations**
South Norwood **edged**
London
SE25 4BX

Proposal : Erection of outbuilding to the rear

Date Decision: 26.01.24

Lawful Dev. Cert. Granted (proposed)

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Level: Delegated Business Meeting

Ref. No. : 23/04538/LE
Location : 11 Sangley Road
South Norwood
London
SE25 6QT

Ward : **South Norwood**
Type: LDC (Existing) Use edged

Proposal : Use of the building as an HMO (house in multiple occupation) for 6 residents (class C4)

Date Decision: 25.01.24

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/04543/HSE
Location : 16 Sundial Avenue
South Norwood
London
SE25 4BX

Ward : **South Norwood**
Type: Householder Application

Proposal : Conversion of loft to habitable space, erection of hip to gable, erection of rear dormer and installation of 3x front facing rooflights.

Date Decision: 24.01.24

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/04547/GPDO
Location : 23 Oliver Avenue
South Norwood
London
SE25 6TY

Ward : **South Norwood**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of single storey rear extension projecting out 4 metres with a maximum height of 3 metres

Date Decision: 22.01.24

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/04184/FUL

Ward : **Thornton Heath**

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 40 Heath Road
Thornton Heath
CR7 8NE
Type: Full planning permission

Proposal : Demolition of the existing garage. Erection of a two storey detached dwelling and provision of associated landscaping, cycle and refuse stores.

Date Decision: 26.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04517/FUL
Location : Denia Court
55A Bensham Grove
Thornton Heath
CR7 8FY
Ward : **Thornton Heath**
Type: Full planning permission

Proposal : The erection of an additional storey to the building to create 2 new flats, with other associated site alterations

Date Decision: 25.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/02970/HSE
Location : 3 Hillside Road
Croydon
CR0 4DA
Ward : **Waddon**
Type: Householder Application

Proposal : Proposed front garden works including erection of a new front garden wall, proposed staircase down to the garden, proposed new drive way with a raised platform to accommodate car park following demolition of existing fence.

Date Decision: 22.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/03690/OUT
Location : Land Front Of 7-10 St Leonard's Road
Croydon
CR0 4BN
Ward : **Waddon**
Type: Outline planning permission

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Proposal : Outline application with all matters reserved apart from access for the erection of a new part single and part 2-storey dwelling following the demolition of the existing garage.
Other associated alterations

Date Decision: 18.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04621/GPDO

Ward : Waddon

Location : Albany House
84A South End
Croydon
CR0 1DQ

Type: Prior Appvl - Class E to
(dwellings) C3

Proposal : Conversion of existing offices at first and second floor level into 6no. self-contained flats
(Prior Approval Notification - Schedule 2, Part 3, Class MA).

Date Decision: 26.01.24

(Approval) refused

Level: Delegated Business Meeting

Ref. No. : 22/03653/FUL

Ward : Woodside

Location : 29 Sidney Road
South Norwood
London
SE25 5NB

Type: Full planning permission

Proposal : Erection of a two storey mid terrace home, with associated site alterations

Date Decision: 24.01.24

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 23/00199/FUL

Ward : Woodside

Location : Portland Medical Centre
184 Portland Road
South Norwood
London
SE25 4QB

Type: Full planning permission

Proposal : Erection of 2/3 storey extension to south elevation and an additional floor over whole building with internal reconfiguration to provide additional/enhanced medical facilities.

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Date Decision: 24.01.24

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 23/04447/CONR
Location : 72 Oakley Road
South Norwood
London
SE25 4XQ

Ward : Woodside
Type: Removal of Condition

Proposal : Minor Material Amendment (Section 73) to Planning Permission ref. 22/02010/HSE for 'Erection of a single-storey rear extension, and alterations'. Amendment seeks alterations involving increasing the depth of the extension and installing three (3) rooflights within its roof, as well as, associated re-wording of Condition 2

Date Decision: 22.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/04506/DISC
Location : 16 Southcote Road
South Norwood
London
SE25 4RG

Ward : Woodside
Type: Discharge of Conditions

Proposal : Details pursuant to the discharge of condition 4 (bicycle storage) from planning permission 21/01915/FUL for 'To change the use of the building from a single family dwelling (C3) to a HMO (C4) for up to 5 persons on a temporary basis for 5 years'

Date Decision: 26.01.24

Approved

Level: Delegated Business Meeting

Ref. No. : 22/04460/FUL
Location : First Floor Flat
86 Bensham Lane
Croydon
CR0 2RZ

Ward : West Thornton
Type: Full planning permission

Proposal : Alterations; Retrospective application for outrigger roof extensions

Decisions (Ward Order) since last Planning Control Meeting as at: 30th January 2024

Location : 744 - 746 London Road
Thornton Heath
CR7 6JA
Type: Full planning permission

Proposal : Erection of a new third floor to contain 2 no. flats. Addition of a new bike storage area, bin store and updates to the existing fenestration.

Date Decision: 25.01.24

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 24/00056/AUT
Location : Council Depot Unit 1 Therapia Trading Estate
Therapia Lane
Beddington
Ward : **Out Of Borough**
Type: Consultation from Adjoining Authority

Proposal : Recladding of existing warehouse, alterations to fenestrations, installation of PV panels, provision of new vehicular access from Coomber Way, new boundary treatment and associated landscaping - Adjoining Borough Consultation from London Borough of Sutton

Date Decision: 23.01.24

No Objection

Level: Delegated Business Meeting